

CITY OF MERRITT

AGENDA FOR THE REGULAR COUNCIL MEETING OF THE CITY OF MERRITT COUNCIL, TUESDAY, JANUARY 23, 1996 AT 7:30 P.M., CENTRAL SCHOOL LUNCHROOM, 1950 VOGHT STREET, MERRITT, B.C.

	<u>AGENDA</u>	<u>PAGE</u>
1.	<u>PRESENT:</u>	
2.	<u>CALL TO ORDER:</u>	
3.	<u>ADOPTION OF THE AGENDA:</u>	
	a) Regular Council Meeting, Tues., Jan.23/96	1-4
4.	<u>PUBLIC HEARING:</u> Nil.	
5.	<u>PETITIONS/DELEGATIONS:</u>	
	a) Canada Post - Kevin Healy, Doug Strangward - Site Locations.	5
	b) Community Health Council, Judy Guichon, Terry Frizzell.	
6.	<u>ADOPTION OF THE MINUTES:</u>	
	a) Regular Meeting, Jan.9/96	6-16
7.	<u>BUSINESS ARISING FROM THE MINUTES:</u>	
8.	<u>UNFINISHED BUSINESS:</u>	
	a) Canada Post Corporation, Jan.11/96 - Merritt Site Locations -Map in Reader File.	17
9.	<u>REPORTS:</u>	
	a) <u>Mayor's Reports:</u>	
	b) <u>Liaisons' and Commissions'/Committees Reports:</u>	
	1) <u>Councillor Cowan -</u> Civic Properties and Recreation Commission -	
	a) Minutes of Dec.06/95 Meeting	18-20
	b) Minutes of Jan.10/96 Meeting	21-24

9. **REPORTS:**

b) **Liaisons' and Commissions'/Committees Reports:**

- 1) **Councillor Cowan - Cont'd.**

Local Access Awareness -
Affordable Housing -
a) Memo, Jan. 19/96 - Foster Pet Program 25

- 2) **Councillor Laird -**
Public Works -
Community Health Council -

- 3) **Councillor McCormack -**
Economic Development and Planning -
NV Development Centre Liaison -

- 4) **Councillor McLean -**
Airport - Merritt Flying Club -
Chamber of Commerce -

- 5) **Councillor Miller -**
Protective Services & Public Safety -
South Central Union Board of Health -
Healthy Communities -

- 6) **Councillor Typusiak -**
Administration & Finance -
Environmental Advisory -
i. Minutes of Dec. 13/95 Meeting 26-28

c) **Administration Reports:**

- 1) **Urban Systems Updates**
i. Jan. 11/96 - Truck Route 29
ii. Jan. 18/96 - Meeting Time Commitments on Merritt Projects. 30-31

- 2) **Memo, Jan. 16/96 - Property Tax Survey for 1995** 32-34

- 3) **Memo, Jan. 17/96 - Development Permit DP 1995-D.** 35-50

- 4) **Memo, Jan. 17/96 - Development Permit DP 1995-H.** 51-93

9. REPORTS:

c) Administration Reports: - Cont'd.

- | | | |
|-----|--|---------|
| 5) | Memo, Jan.17/96 - Development Variance Permit DVP 1995-09. | 94-102 |
| 6) | Memo, Jan.17/96 - Development Variance Permit DVP 1995-10. | 103-110 |
| 7) | Memo, Jan.17/96 - 1996 Provisional Budget. | 111 |
| 8) | 1995 Nicola Valley Aquatic Centre Admission Statistics. | 112-113 |
| 9) | Thompson-Nicola Regional District Building Department Statistics December, 1995. | 114-117 |
| 10) | Memo, Jan.17/96 - Mamette Avenue Road Closure. | 118 |
| 11) | Memo, Jan.19/96 - Bank Account at CIBC. | 119 |

10. BYLAWS:

- | | | |
|----|---|---------|
| a) | City of Merritt Official Community Plan Amendment (No.1) Bylaw No.1532, 1995 - Submitted for Adoption. | 120-122 |
| b) | City of Merritt Zoning Amendment (No.1) Bylaw No.1533, 1995 - Submitted for Adoption. | 123-125 |
| c) | City of Merritt Official Community Plan Amendment Bylaw No. 1537, 1995 - Submitted for Adoption. | 126-132 |

11. CORRESPONDENCE:

a) Potential Council Responses:

- | | | |
|----|--|-----|
| 1) | Merritt and District Chamber of Commerce, Jan.16/96 - Budgets and Staff. | 133 |
| 2) | RRAP Program | |
| | i. J.&J.Enterprises, Jan.9/96. | 134 |
| | ii. British Columbia Native Housing Corporation, Jan.11/96. | 135 |
| 3) | Brian Dafoe Motorcade Ltd., Jan.04/96 - Request for Sidewalk Upgrading. | 136 |

11. **CORRESPONDENCE:**

a) **Potential Council Responses:** - Cont'd.

4) Federation of Canadian Municipalities, Dec.11/96 - 1996
FCM Annual Conference 137-139

b) **Receive:**

1) Province of British Columbia, Dec.21/96 - Forest
Protection. 140

2) Province of British Columbia, Office of the Premier,
Jan.5/96- Agreement on Internal Trade. 141

3) Interior Lumber Manufacturer's Association,
Jan.10/96 - B.C. Treaty Making Process. 142-143

12. **NEW BUSINESS:**

13. **ADJOURNMENT:**

MAIL POSTE

Canada Post Corporation - Société canadienne des postes

F A C S I M I L E

BOBBY

to: FINLAY J SINCLAIR CITY PLANNER
CITY OF MERRITT

from:

KEVIN HEALY
DELIVERY PLANNING

CANADA POST CORPORATION
PO BOX 2110
VANCOUVER BC V6B 4Z3

telephone: (604) 662-1320
facsimile: (604) 662-1569

23rd?

re: CANADA POST SITE LOCATIONS - COUNCIL MEETING

date: JAN 16 1996

any problems with receipt, please call: (604) 662-1681

number of pages (including cover page): ①

message:

FINLAY YES I WILL ATTEND THIS MEETING
ALONG WITH DONG STRANGLIARD IF HE IS ABLE
TO ATTEND

5



CITY OF MERRITT

MINUTES FOR THE REGULAR COUNCIL MEETING OF THE CITY OF MERRITT COUNCIL, TUESDAY, JANUARY 9, 1996 AT 7:30 P.M., CENTRAL SCHOOL LUNCHROOM, 1950 VOGHT STREET, MERRITT, B.C.

1. PRESENT:

COUNCIL:

Mayor - C.Norgaard
Councillors - L.Miller, D.Laird, H.McCormack, D.McLean,
B.Cowan, R.Typusiak

ADMINISTRATION:

Administrator - T.Day
Clerk - Y.Porada
Treasurer - S.Gill
Planner - F.Sinclair
Fire.Chief - R.Finley
Recreation Manager - D.Mackey
Confidential Secretary - R.Harrison

MEDIA: NL Radio, Merritt News, Merritt Herald, Shaw Cable

There are seven (7) members of the General Public present.

2. CALL TO ORDER:

Mayor Clara Norgaard called the meeting to order at 7:30 p.m.

3. ADOPTION OF THE AGENDA:

a) Regular Council Meeting, Tues., Jan.9/96

5/96 Moved by Councillor Laird, seconded by Councillor Cowan that Council ADOPT the Agenda for the Regular Council Meeting, Tues., Jan.9/96. including the Extra Agenda items:

REPORTS:

1. Memo, Jan.2/96 - T.N.R.D. Solid Waste Management Plan
2. Memo, Jan.8/96 - Sludge Dewatering Press
3. Verbal report, Administrator - Fire Safety Inspections.

NEW BUSINESS:

1. Chamber of Commerce, Jan.4/96 - Invitation to Annual General Meeting.

CARRIED

4. PUBLIC HEARING:

Mayor Norgaard called the Public Hearing to order at 7:32 p.m. and read out the statement regarding presentations:

- a) City of Merritt O.C.P. Amendment Bylaw No. 1532, 1995

There were no written submissions received in regard to City of Merritt O.C.P. Amendment Bylaw No. 1532, 1995.

Mayor Norgaard called three times for anyone wishing to speak for or against City of Merritt Official Community Plan Amendment Bylaw No. 1532, 1995 and hearing no response, proceeded to the next issue.

- b) City of Merritt Zoning Amendment No. 1, Bylaw No. 1533, 1995

There were no written submissions received in regard to City of Merritt Zoning Amendment No. 1, Bylaw No. 1533, 1995.

Mayor Norgaard called three times for anyone wishing to speak for or against City of Merritt Zoning Amendment No. 1, Bylaw No. 1533, 1995 and hearing no response, proceeded to the next issue.

- c) City of Merritt O.C.P. Amendment Bylaw No. 1537, 1995

There were no written submissions received in regard to City of Merritt Official Community Plan Amendment Bylaw No. 1537, 1995.

Mayor Norgaard called three times for anyone wishing to speak for or against City of Merritt Official Community Plan Amendment Bylaw No. 1537, 1995 and hearing no response, declared the Public Hearing closed at 7:38 p.m.

5. PETITIONS/DELEGATIONS: Nil.

At 7:38 p.m., one member of the General Public joined the meeting to make a total of seven(7)

CITY OF MERRITT, REGULAR COUNCIL MEETING JAN.09/96

6. ADOPTION OF THE MINUTES:

- a) Special Council Meeting, Dec.5/95
- b) Regular Council Meeting, Dec.12/95
- c) Special Council Meeting, Dec.18/95
- d) Special Budget Meeting, Dec.18/95

6/96 Moved by Councillor McLean, seconded by Councillor McCormack that Council ADOPT the Minutes for:

- a) Special Council Meeting; Dec.5/95
- b) Regular Council Meeting, Dec.12/95
- c) Special Council Meeting, Dec.18/95
- d) Special Budget Meeting, Dec.18/95

CARRIED

7. BUSINESS ARISING FROM THE MINUTES: Nil.

8. UNFINISHED BUSINESS:

- a) School District No. 31(Merritt), Dec.05/95 - Merritt Bench Crosswalk.

7/96 Moved by Councillor McLean, seconded by Councillor Cowan that Council RECEIVE the School District No. 31(Merritt), letter of Dec.05/95 - Merritt Bench Crosswalk and REFER same to the Special City/School District #31 Committee dealing with this crosswalk issue. CARRIED

- b) Urban Systems Ltd., Dec.18/95 - Horizontal Drains - Parker Drive.

8/96 Moved by Councillor McCormack, seconded by Councillor Laird that Council RECEIVE the Urban Systems Ltd., letter of Dec.18/95 - Horizontal Drains - Parker Drive. CARRIED

- c) City of Merritt O.C.P.Amendment Bylaw No.1532, 1995
- Submitted for third reading.

9/96 Moved by Councillor Typusiak, seconded by Councillor Laird that Council GIVE THIRD READING TO CITY OF MERRITT O.C.P.AMENDMENT BYLAW NO. 1532,1995. CARRIED

CITY OF MERRITT, REGULAR COUNCIL MEETING JAN.09/96

8. UNFINISHED BUSINESS: - Cont'd.

- d) City of Merritt Zoning Amendment No.1, Bylaw No. 1533, 1995
- Submitted for third reading.

10/96 Moved by Councillor Cowan, seconded by Councillor McLean that Council **GIVE THIRD READING TO CITY OF MERRITT ZONING AMENDMENT NO. 1, BYLAW NO. 1533, 1995.** CARRIED

- e) City of Merritt O.C.P. Amendment Bylaw No.1537, 1995
- Submitted for third reading.

11/96 Moved by Councillor Miller, seconded by Councillor Typusiak that Council **GIVE THIRD READING TO CITY OF MERRITT O.C.P. AMENDMENT BYLAW NO. 1533, 1995.** CARRIED

At 7:45 p.m., four (4) members of the General Public left the meeting with three (3) remaining.

9. REPORTS:

a) Mayor's Reports:

T.N.R.D. Meeting, Dec:14/95 -

Old Regional Hospital Board will remain in place until all their debts are paid out. New Regional Hospital District Board will have 22 Directors from the Thompson-Nicola Region with 41 votes, and 5 Directors from the Columbia-Shuswap, Squamish Lillooet, Fraser Cheam Regions with a total of 6 votes. TNRD staff will handle all administration functions. There will be 2 meetings per year, with additional meetings if necessary.

Suzanne Taylor has been contracted to complete Phase 3 of the Regional District House Identification Program.

Merritt Gymnastics Club will be hosting the B.C. Team trials for Trampoline and Tumbling on Jan.19-21/96 at the Civic Centre.

12/96 Moved by Councillor Cowan, seconded by Councillor Typusiak that Council **GRANT PERMISSION** to the Kidney Foundation of Canada to canvass door-to-door throughout Merritt during the month of March, 1996. CARRIED

13/96 Moved by Councillor Typusiak, seconded by Councillor Laird that Council **APPROVE** the request from Merritt and District Minor Hockey to hold a parade in honour of Hockey Week on Jan.19/96. CARRIED

9. REPORTS: - Cont'd.

b) Liaisons' and Commissions'/Committees Reports:

- 1) **Councillor Cowan -**
Civic Properties and Recreation Commission - The next meeting will take place on Wednesday, Jan.10/96
Local Access Awareness - The next meeting will be Thursday, Jan.11/96.
Affordable Housing - There will be a meeting on Jan.18/96 with the project architects and then a second meeting with City Staff.
- 2) **Councillor Laird -**
Public Works -

14/96 Moved by Councillor Laird, seconded by Councillor Typusiak that Council CONTACT and request action from the Ministry of the Environment to immediately repair the Coldwater dyking system in order to ensure the safety of the Citizens of Merritt and the security of public and private lands protected by the dykes, grant permission for the City to undertake dyking repairs immediately. CARRIED

Community Health Council - The next meeting will be in January.

- 3) **Councillor McCormack -**
Economic Development and Planning - The next meeting will be held on Jan.17/96. There are planning presentations on display at City Hall concerning the Coquihalla Resources "The Pointe" development and the Railyard Enterprises mall development. Jan.29-30 will be the dates for BIA Seminars sponsored by the Ministry of Municipal Affairs.

NV Development Centre Liaison - The next meeting will be Jan.10/96.
- 4) **Councillor McLean -**
Airport - Merritt Flying Club - The next meeting will be Jan.10/96
Chamber of Commerce - The Annual General Meeting will be held on Jan.27/96.
- 5) **Councillor Miller -**
Protective Services & Public Safety - Nil.
South Central Union Board of Health -
 - i. Minutes, of Nov.22/95 Meeting

15/96 Moved by Councillor Miller, seconded by Councillor Cowan that Council RECEIVE the South Central Union Board of Health - Minutes, of Nov.22/95 Meeting for information. CARRIED

Healthy Communities - Nil.

CITY OF MERRITT, REGULAR COUNCIL MEETING JAN.09/96

9. **REPORTS:**

b) **Liaisons' and Commissions'/Committees Reports: - Cont'd.**

6) **Councillor Typusiak -**

Administration & Finance - Administrative staff are very busy with Community Forest Licence Proposals, the upcoming Financial Audit, and the Colletville Specified Area Bylaws.

Environmental Advisory -

i. Minutes of Nov.2/95 Meeting

16/96 Moved by Councillor Typusiak, seconded by Councillor McLean that Council RECEIVE the Minutes of the Nov.2/95 Meeting of the Environment Advisory Committee.

CARRIED

17/96 Moved by Councillor Typusiak, seconded by Councillor Laird that Council RECOMMEND to the School Board that each school in the district should send a representative to the next Environmental Advisory Committee Meeting in order to get the students involved with the Pitch In - City Pride Week.

CARRIED

At 8:05 one (1) member of the General Public left the meeting with two(2) people remaining.

c) **Administration Reports:**

1. Fire Chief's Month-End Report

i. Oct./95

ii. Nov./95

iii. Dec./95

17/96 Moved by Councillor Miller, seconded by Councillor Laird that Council RECEIVE the Fire Chief's Month-End Reports for Oct., Nov., and Dec./95.

CARRIED

2. TNRD., Dec.13/95 - Regional Growth Management Strategy, Appointment.

18/96 Moved by Councillor McCormack, seconded by Councillor Laird that Council RECEIVE the TNRD letter of Dec.13/95 - Regional Growth Management Strategy and APPOINT the City Planner, Finlay Sinclair as the City of Merritt's representative to the Intergovernmental Advisory Committee.

CARRIED

3. Memo, Dec.7/95 - List of Snow Removal Equipment

19/96 Moved by Councillor Laird, seconded by Councillor Miller that Council RECEIVE the Memo, Dec.7/95 - List of Snow Removal Equipment.

CARRIED

CITY OF MERRITT, REGULAR COUNCIL MEETING JAN.09/96

9. REPORTS:

c) Administration Reports: - Cont'd.

4. Memo, Dec./95 - Bylaw Services Statistics for Nov./95

20/96 Moved by Councillor McLean, seconded by Councillor Cowan that Council RECEIVE the Memo, Dec./95 - Bylaw Services Statistics for Nov./95. CARRIED

5. Memo, Jan.02/95 - Fire Underwriters' Survey of Merritt

The Fire Chief read the Fire Underwriters' Survey of Merritt and explained the improvement in Merritt's ratings as a result of the survey. Merritt has risen in their ratings to a Grade 2 for Dwelling Protection (formerly grade 3 or 4) and a Class 6 for Public (Commercial, Industrial or Industrial Buildings) Fire Protection (formerly a Class 7)

21/96 Moved by Councillor Laird, seconded by Councillor Miller that Council RECEIVE the Memo, Jan.02/96 - Fire Underwriters' Survey of Merritt. CARRIED

6. Memo, Jan.04/95 - Collettsville Centennial Park

22/96 Moved by Councillor Typusiak, seconded by Councillor McLean that Council RECEIVE the Memo, Jan.04/95 - Collettsville Centennial Park and ENDORSE the tentative plan or the development of Collettsville Centennial Park as presented. CARRIED

7. Verbal report, Administrator - Fire Safety Inspection.

The Administrator outlined an alternative to hiring a full-time Fire Inspector which would be to contract services for Fire Safety Inspection. The contract would cover a complete Fire Safety Inspection to establish a base level of inspection that could be maintained by the existing Fire Chief. In order to maintain the base level, the Fire Chief's office would be moved into the new City Hall building, allowing increased secretarial assistance to the Fire Chief, thereby freeing up additional time for his fire inspections.

23/96 Moved by Councillor McLean, seconded by Councillor Cowan that Council ENDORSE the recommendations of the Administrator, which include contracting of Fire Safety Inspection to establish a base level of inspections which can be maintained by the Fire Chief. CARRIED

At 8:35 p.m., one (1) member of the General Public left the meeting leaving one (1) remaining.

CITY OF MERRITT, REGULAR COUNCIL MEETING JAN.09/96

10. BYLAWS:

1. Minister of Transportation and Highways, Dec.7/95
- City of Merritt Traffic Amendment Bylaw No. 1511, 1995
SUBMITTED FOR ADOPTION.

24/96 Moved by Councillor Typusiak, seconded by Councillor McLean that Council RECEIVE the Minister of Transportation and Highways letter of Dec.7/95 and **ADOPT the City of Merritt Traffic Amendment Bylaw No. 1511, 1995.** **CARRIED**

2. Memo, Jan.4/95 - City of Merritt Zoning Amendment Bylaw No. 1541, 1996. **SUBMITTED FOR FIRST, SECOND READING.**

25/96 Moved by Councillor Typusiak, seconded by Councillor Laird that Council RECEIVE the Memo, Jan.4/95 - City of Merritt Zoning Amendment Bylaw No.1541, 1996. **CARRIED**

26/96 Moved by Councillor McLean, seconded by Councillor McCormack that Council **GIVE FIRST READING TO CITY OF MERRITT ZONING AMENDMENT BYLAW NO.1541, 1996.** **CARRIED**

27/96 Moved by Councillor Cowan, seconded by Councillor Laird that Council **GIVE SECOND READING TO CITY OF MERRITT ZONING AMENDMENT BYLAW NO. 1541, 1996.** **CARRIED**

28/96 Moved by Councillor Typusiak, seconded by Councillor McCormack that Council **SCHEDULE the Public Hearing for City of Merritt Zoning Amendment Bylaw No. 1541, 1996 for Feb.13/96 at 7:30 p.m.** **CARRIED**

11. CORRESPONDENCE:

a) **Potential Council Responses:**

1. Kinsmen & Kinette Clubs of Canada, Dec.1/95
- Request for support.

29/96 Moved by Councillor Typusiak, seconded by Councillor McLean that Council RECEIVE the Kinsmen & Kinette Clubs of Canada letter of Dec.1/95. **CARRIED**

CITY OF MERRITT, REGULAR COUNCIL MEETING JAN.09/96

11. CORRESPONDENCE:

a) **Potential Council Responses:** - Cont'd.

2. Thompson-Nicola Regional District, Dec.4/95 - Nicola Valley Official Community Plan

30/96 Moved by Councillor Typusiak, seconded by Councillor McCormack that Council RECEIVE the Thompson-Nicola Regional District, Dec.4/95 - Nicola Valley Official Community Plan. CARRIED

31/96 Moved by Councillor Typusiak, seconded by Councillor McLean that Council RESPOND to the T.N.R.D. - Nicola Valley Official Community Plan reinforcing the road network as laid out on page 125 of the N.V.O.C.P. CARRIED

3. City of Fort St. John, Nov.30/95 - Sexual Offender's Registry.

32/96 Moved by Councillor Miller, seconded by Councillor McLean that Council RECEIVE the City of Fort St. John letter of Nov.30/95 - Sexual Offender's Registry. CARRIED

4. B.C.Tel, Dec.6/95 - Increase in Local Telephone Rates.

33/96 Moved by Councillor Miller, seconded by Councillor McLean that Council RECEIVE the B.C. Tel letter of Dec.6/95 - Increase in Local Telephone Rates for information. CARRIED

5. Save the C.B.C., Nov.27/95 - Request for Support.

34/96 Moved by Councillor McCormack, seconded by Councillor McLean that Council RECEIVE the Save the C.B.C. letter of Nov.7/95 - Request for Support. CARRIED

6. Merritt and District Chamber of Commerce, Dec.20/95
- Budgets and Staff

- i. Draft response, Jan.3/96

35/96 Moved by Councillor Typusiak, seconded by Councillor Cowan that Council RECEIVE the Merritt and District Chamber of Commerce letter of Dec.20/95 - Budgets and Staff and ENDORSE the draft letter outlining the City's response as presented. CARRIED

7. Urban Systems Ltd., Dec.22/95 - STP, Sludge Dewatering Press.

36/96 Moved by Councillor Laird, seconded by Councillor Miller that Council RECEIVE the Urban Systems Ltd., letter of Dec.22/95 - STP, Sludge Dewatering Press. CARRIED

CITY OF MERRITT, REGULAR COUNCIL MEETING JAN.09/96

11. CORRESPONDENCE:

a) **Potential Council Responses:** - Cont'd.

8. Riverfest V, Dec./95 - Symposium, Feb.17/96

37/96 Moved by Councillor McLean, seconded by Councillor Laird that Council RECOMMEND that Mayor Norgaard attend the Riverfest V Symposium and AUTHORIZE the expenditure of registration fees, hotel and travel expenses on her behalf. CARRIED

9. Share B.C., Dec.14/95 - 1996 Provincial Conference, Mar.2/96

38/96 Moved by Councillor Typusiak, seconded by Councillor McCormack that Council RECEIVE the Share B.C. letter of Dec.14/95 - 1996 Provincial Conference. CARRIED

10. Minister of Transportation and Highways, Dec.7/95
- Capital Rehabilitation Program

39/96 Moved by Councillor Cowan, seconded by Councillor McLean that Council RECEIVE the Minister of Transportation and Highways letter of Dec.7/95 and RECOMMEND that a meeting between Mayor Norgaard and the Minister be arranged with the travel expenses for the meeting AUTHORIZED by Council. CARRIED

b) **Receive:**

1. UB.C.M., Dec.15/95 - Local Government Awareness Program, 1996.

2. Minister of Municipal Affairs, Dec.7/95 - Amendments to the Municipal Act.

40/96 Moved by Councillor Laird, seconded by Councillor McCormack that Council RECEIVE the correspondence:

1. UB.C.M., Dec.15/95 - Local Government Awareness Program, 1996.

2. Minister of Municipal Affairs, Dec.7/95 - Amendments to the Municipal Act.

CARRIED

12. NEW BUSINESS: Nil.

CITY OF MERRITT, REGULAR COUNCIL MEETING JAN.09/96

13. ADJOURNMENT:

41/96 Moved by Councillor Cowan, seconded by Councillor McLean that Council
TERMINATE this meeting at 9:25 p.m. and RECONVENE the In-Camera Meeting
excluding the General Public with Acting Mayor Laird in the chair in 5 minutes in the
Library CARRIED

CERTIFIED CORRECT:

Clara R. Norgaard, Mayor

Yvonne J. Porada, Clerk



Canada Post
Corporation

Société canadienne
des postes

PACIFIC REGION
Delivery Services

P.O. Box 2110 Stn Terminal
Vancouver, BC V6B 4Z3

1996-01-11

City of Merritt
Planning Dept.
P.O. Box 189
Merritt, BC V0K 2B0

Attention: Finlay Sinclair
City Planner

Dear Finlay:

Enclosed please find the map for a portion of Merritt marked with proposed site locations todate.

I did not put the address catchment areas on the map as I felt this would possibly confuse someone on council.

If council feels there are any problems politically with these locations, please let me know. Both myself and Doug Strangward would like to attend any meetings regarding these sites so we could assure council that we will deal with individual or political issues as we would not want council put in a political box. We want to assure them that we will be responsible for the program with your involvement on safety and bylaw issues.

Regards,

Kevin Healy
Officer, Delivery Services
Delivery Services

cc: Doug Strangward, Co-ordinator, Delivery Services

*Agenda
Jan 23rd
Unfor. Bur*

RECEIVED
JAN 12 1996
REGISTRE

**CITY OF MERRITT
CIVIC PROPERTIES AND RECREATION COMMISSION**

MINUTES OF THE CIVIC PROPERTIES AND RECREATION COMMISSION HELD
WEDNESDAY, DECEMBER 6, 1995 AT 7:00 P.M. IN THE CITY HALL MEETING
ROOM, CIVIC CENTRE, 2185 VOGHT STREET, MERRITT, B.C.

PRESENT: Councillor Bonnie Cowan, Don Jones, Denise Tomlin, Nonie Miyazaki,
Terry Scheitel, Keith Rauch, JoAnne Portman and Recreation Manager,
Dalyce Mackey.

REGRETS: Councillor Herb McCormack, Eleanor Brown, Helmuth Kanduth and Dan
Long.

CALL TO ORDER:

Chairperson Don Jones called the meeting to order at 7:04 p.m.

DELEGATION: Aaron Krausert

The Commission invited Aaron to make a brief presentation on
Skateboard Parks. Aaron's presentation was very informative. Following the
presentation, the Commission had an opportunity to ask questions.

The Commission suggested to Aaron that in concept a Skateboard Park
would be an excellent opportunity for youth in our community. However, before the
Civic Properties and Recreation Commission could discuss the idea further, they would
require a formal proposal detailing skateboard park costs, sources of funding, liability
issues, supervision, and possible park location.

ADOPTION OF THE AGENDA:

Moved by: Bonnie Cowan
Seconded by: Terry Scheitel

"That the agenda for Wednesday December 6, 1995 be adopted."

Carried

ADOPTION OF THE MINUTES FROM SEPTEMBER 6, 1995

Moved by: Denise Tomlin
Seconded by: Nonie Miyazaki

"That the minutes from the September 6, 1995 Civic Properties and Recreation
Commission Meeting be adopted with one change; that Nonie Miyazaki is removed from
the list of members present."

Carried

**Civic Properties and Recreation Commission Meeting Dec.6/95
cont...page 2**

ADOPTION OF THE MINUTES FROM NOVEMBER 8, 1995

Moved by: Bonnie Cowan
Seconded by: Denise Tomlin

“That the minutes from the November 8, 1995 Civic Properties and Recreation Commission Meeting be adopted as presented.”

Carried

UNFINISHED BUSINESS:

- a) **Arena Retrofit:**
Dalyce displayed the final draft of the plans of the new front end of the Arena. Council approved the plans at December 5, 1995 Council Meeting.
- b) **Central Park Lights:**
The Adhoc Committee had their final meeting Tuesday, December 7, 1995. A final report is being prepared by Cliff Thorestenson for Council.
- c) **Green Space Land Acquisition:**
The Diamondvale district of Merritt is starved of green space and small playgrounds accessible to the many families residing in the area. A lot is available for purchase on the South-East corner of Clapperton and Sage. The Planning Department is in a position to negotiate the purchase of this lot for green space. Before proceeding, the department first requires the recommendation from the Civic Properties and Recreation Commission and approval by City Council.

Moved by: JoAnne Portman
Seconded by: Denise Tomlin

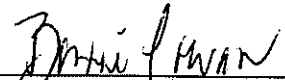
“That the Civic Properties and Recreation Commission recommend to City Council to purchase the remainder of Lot No. 17, plan 33390, DL 122 K.D.Y.D., located at the South-East corner of Clapperton and Sage for green space and a small playground area.”

Carried

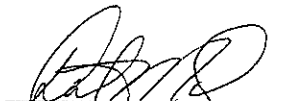
City Council will consider this recommendation during their 1996 budget discussions. Purchase of the property would be a discretionary budget item as no funds have been designated for green space acquisition.

**Civic Properties and Recreation Commission Meeting Dec.6/95
cont...page 4**

CERTIFIED CORRECT



Councillor
Bonnie Cowan



Recreation Manager
Dalyce Mackey

**CITY OF MERRITT
CIVIC PROPERTIES AND RECREATION COMMISSION**

MINUTES OF THE CIVIC PROPERTIES AND RECREATION COMMISSION HELD
WEDNESDAY, JANUARY 10, 1996 AT 7:00 P.M. IN THE CITY HALL MEETING
ROOM, CIVIC CENTRE, 2185 VOGHT STREET, MERRITT, B.C.

PRESENT: Councillor Bonnie Cowan, Councillor Herb McCormack, Don Jones,
Denise Tomlin, Nonie Miyazaki, Terry Scheitel, Dan Long, JoAnne
Portman, Helmuth Kanduth, Recreation Manager, Dalcyce Mackey.

REGRETS: Eleanor Brown and Keith Rauch

CALL TO ORDER:

Chairperson Don Jones called the meeting to order at 7:00 p.m.

ADOPTION OF THE AGENDA:

Moved by: Robert Hack
Seconded by: Denise Tomlin

“That the agenda for Wednesday January 10, 1996 be adopted.”

Carried

ADOPTION OF THE MINUTES FROM DECEMBER 6, 1995

Moved by: Terry Scheitel
Seconded by: JoAnne Portman

“That the minutes from the December 6, 1995 Civic Properties and Recreation
Commission Meeting be adopted.

Carried

UNFINISHED BUSINESS:

- a) **Arena Retrofit:**
Detailed design plans for both the upper and lower floors of the new structure and the outside elevation will be presented to Council January 16, 1996. The scheduled date for construction begins April 1, 1996, estimated completion date is August 30, 1996.

- b) **Central Park Lights:**
The final report has not been received from Cliff Thorestenson. It was reported that not all Adhoc Committee Members have signed the document. Dalcyce will call Cliff to establish the status on the report.

Civic Properties and Recreation Commission Meeting, Jan. 10/96

page 2...

c) Collettsville Centennial Park

The application for Crown Lands for park acquisition was reviewed and discussed. Some Commission Members were concerned that the proximity of the Collettsville Park in relationship to Voght Park may duplicate purposes. It was suggested that Voght Park traditionally has been used for organized sporting events or community events, and not typically used for family picnics and a playground. The focus for Collettsville Park is to provide a family recreational park for picnics, and unstructured play.

c) Green Space

Council did not approve funding for the land acquisition in Diamondvale. Council concluded that the lot would have limited appeal and may only be a short term solution to the problem. A suggestion from Council was to review existing greenspace in areas with a number of parks. The concept was to sell the property and the revenue be used to purchase park land in Diamondvale. N'Kuala Park was sited as a possibility. The majority of Commission Members were not in favour of this option.

Dalyce suggested that we work with the School District and in partnership, make the existing school fields and parks more multi-use for the community. The Green Space Committee has been asked to research again the options for green space in Diamondvale and other areas of the City.

The Green Space Committee was requested to provide a report at the next Civic Properties and Recreation Commission Meeting.

REPORTS:

a) Council Report

Councillor Cowan reported that Council had been involved in the 1996 Budget process and that there would be no tax increases for 1996.

b) Pool Report

The Bermuda times attached to the agenda package were reviewed.

There was some discussion regarding the on going problem with the Hot Tubs. It was suggested that the Hot Tubs installed are not designed to manage the high bathing loads experienced at public swimming pools. Although the Hot Tubs are considered "Commercial" units, this mainly refers to hotel and motel operations.

Pool hours were reduced January 1, 1996. These cutbacks were necessary for the pool to meet budget requirements.

Civic Properties and Recreation Commission Meeting, Jan.10/96
page 3...

c) **Youth Program**

Helen Oliphant was unable to attend the meeting; Dalyce Mackey provided a brief report.

The funding for the Youth Coordinator position has now been reduced. The \$15,000.00 grant money provided by Mental Health was only for the one year, and to date Helen has been unable to find funding from other sources. The original funding from the Ministry of the Attorney General will be on going. This funding will provide 20 hours per week of wages for the Youth Coordinator position. Helen will continue to do the best she can to keep the drop in centre open and provide some programming.

d) **1996 Provisional Budget**

As always, there are a number of requests for capital funding each year. Council makes the difficult decision on what will and will not be funded.

Capital Funding Projects for 1996 - exclusive of the Arena Retrofit

- \$12,400.00 for removal of the old wooden bleachers at Main St. Park and for the purchasing of new metal bleachers.
- \$45,000.00 for Central Park Development
- \$ 5,000.00 for park benches and picnic tables for school fields/parks.

Commission Members commend City Council for approving funds for future development of Central Park.

NEW BUSINESS:

a) **Election of Officers:**

The following appointments were made for 1996

Chairperson -	Don Jones
Vice Chair -	Denise Tomlin Robert Hack
Secretary -	Dalyce Mackey

b) **Role of the Commission:**


Bonnie reviewed the role of the commission and emphasized the importance of working collectively to resolve issues and make decisions. Noting that we all have personal interests, perspectives, and opinions and that respect for our individual differences is necessary to provide a healthy, productive and successful commission.

Civic Properties and Recreation Commission Meeting Jan.10/96
pate 4...

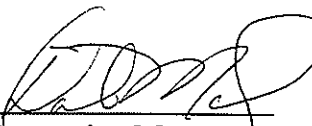
- c) 1996 Commission Goals
The Commission Goals for 1996 will be discussed at the next Commission Meeting. Members were requested to prepare some ideas for discussion.

Meeting adjourned at 8:50 p.m.

CERTIFIED CORRECT



Councillor
Bonnie Cowan



Recreation Manager
Dalyce Mackey

CITY OF MERRITT
MEMORANDUM

TO:	Mayor and Councillors
FROM:	Councillor Cowan
SUBJECT:	Foster Pet Program
DATE:	January 18th, 1996

It is my understanding that the Foster Pet Program in our community is in jeopardy due to a shortage of foster care resources.

I am most concerned that should this program cease to exist, there will be a significant increase in the number of animals requiring euthanasia.

I firmly believe that the Foster Pet Program, in conjunction with the diligent efforts of the Bylaw Services Officer, Marcel Bedard, has been very successful in providing a much needed service.

As our community grows, we can expect to see the numbers of unwanted and abandoned animals increase.

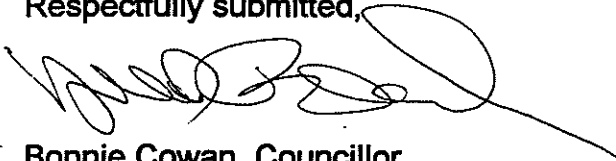
It is my view that euthanasia is the least preferable alternative and provides a drastic means of animal control.

The concern for animal welfare in the City of Merritt must be expanded to include Foster Pet Program services which allow for animal adoption and placement.

I maintain that the City of Merritt has a duty and a responsibility to ensure there are humane and adequate resources which address both the issues of animal control and animal welfare.

I would appreciate an opportunity to discuss the plight of the Foster Pet Program and to consider any way in which the City can lend its support to maintain this worthwhile program.

Respectfully submitted,



Bonnie Cowan, Councillor

CITY OF MERRITT

ENVIRONMENTAL ADVISORY COMMITTEE

Minutes of Meeting Held December 13, 1995

City Hall, Merritt, B.C.

Present: Shelley Cressy-Hassel, Lavona Bailor, Sherry Huber, Jane Kempston

Regrets: Yvonne Lord, Lynette Shroeder

1. The Meeting was called to order by Shelley at 7:11 pm.
2. **Adoption of the Minutes:**
Moved by Rick Typusiak. Seconded by Sherry Huber. That the Minutes of the meeting of November 2, 1995 be adopted as circulated.
Carried.
3. **Newspaper articles:**
Lavonna spoke to Dean Broughton of the Merritt News. He advises that the articles should be longer. Lavonna will develop an article outlining projects that the committee is working on.
4. **Marshland/Drainage:**
Shelley revealed that Yvonne has obtained some interesting information on using Marshland for storm drains. It was decided to defer this matter until the next meeting so Yvonne can make a presentation.
5. **Resource Booklet:**
Yvonne and Shelley continue to work on developing a resource booklet to outline where people can take materials they no longer want, rather than deposit it in the waste-stream. Also, discussion ensued about holding a "barter swap meet" during Clean Up Week where no money is exchanged but people swap articles they want to get rid of with other people who bring things to unload. We could advertise this idea in a Spring edition of the City Key devoted entirely to environmental issues. Deadline for these articles should be March 1996.

6. Pitch In - City Pride Week:

As the Committee plans towards a Pitch In - City Pride Week, it is felt to be important that we get our younger citizens involved. To this end, we would like to get the children from the Schools involved.

Moved by Lavona Bailor. Seconded by Sherry Hubber. That City Council invite participation from City Schools by writing the School Board requesting that they send a representative (adult or student) from each School in the City to the February 1996 E.A.C. Meeting. February 1, 1996 at 7:00 pm to discuss ways to get students involved in Pitch In - City Pride Week, and further, that a letter be sent to Maranatha Christian School inviting them to send a rep to the meeting as well. Carried.

Also discussed were ways to get adults and families involved. Perhaps after a weekend day of cleaning up the City, a Corporate Sponsor could put on a Bar-B-Que for all participants. Further discussion will ensue as planning occurs.

7. Display Case:

Committee Members were asked to bring ideas to the January meeting on how the display case can be used to promote environmental awareness in the City.

8. Reducing packaging from entering the Waste Stream.

Moved by Rick Typusiak. Seconded by Lavona Bailor. That the information on reducing packaging from entering in the waste stream be received for information and discussion at an upcoming meeting.

9. Community Recycling Program.

Shelley and Rick reported on a meeting they had the previous day with Mayor Norgaard, Doug Morris of Weyerhaeuser, and Don Loughheed of L.C.C.. The purpose of the meeting was two fold:

1. That Merritt have viable, long-term recycling program.

9. Community Recycling Program, Cont'd.

2. That Merritt residents receive recognition in the TNRD Solid Waste Plan for their efforts in reducing significantly waste going into the landfill site.

Mayor Norgaard asked that the Committee develop a business with these two themes involved.

The Committee engaged in preliminary discussions, deciding to devote almost the entirety of the January 1996 meeting to this task. Rick will invite Don Loughheed of L.C. to this meeting.

10. Adjournment.

The meeting adjourned at 9:14 pm. The next meeting is January 4, 1996 at 7:00 pm at City Hall.

b:envadv.min

URBAN SYSTEMS

ENGINEERS
PLANNERS
LANDSCAPE ARCHITECTS

January 11, 1996

File: 7052106.2

City of Merritt
P.O. Box 189
Merritt, B.C.
V0K 2B0

Agenda - Report in "Reader File"

CITY OF MERRITT
JAN 16 1996
RECEIVED

Attention: Mr. Tom Day
Administrator

Truck Route Hydrotechnical Report

Please find attached a copy of the hydrotechnical report for the proposed truck route. Brian Hobbs and I have reviewed the report and feel that it addresses the concerns raised regarding flooding and ice. It also provides substantial direction for the design guidelines for the bridge structure.


I have forwarded the report to Paul Doyle at B.C. Environment for his comments, and to Merv Milligan to assist in the functional design.

Progress on the project is moving slower than anticipated. I have not yet received anything from ARC Environmental or ARCAS on the fisheries or archaeology sections which are critical to the rest of the project. ARCAS has promised me a report by January 15. Bill Rublee from ARC was in the office this morning. He will have his work completed within the next week to week and a half. I will put the project on high priority at that point to try to get it back on track.

Please call me if you have any questions or comments.

Yours truly,

URBAN SYSTEMS LTD.


Stephen Power, P.Eng.
Environmental Engineer

:sdw

Enclosure

URBAN
SYSTEMS
LTD.

204-10711 CAMBIE ROAD
RICHMOND, BC
V6X 3G5
T: 604.273.8700
F: 604.273.8752

7 ST. PAUL STREET WEST
KAMLOOPS, BC
V2C 1E9
T: 604.374.8311
F: 604.374.5334

104A-1815 KIRSCHNER ROAD
KELOWNA, BC
V1Y 4N7
T: 604.762.2517
F: 604.763.5266

140-2723 37TH AVE. N.E.
CALGARY, ALBERTA
T1Y 5R8
T: 403.291.1193
F: 403.291.1374

29

MEMORANDUM

TO: City of Merritt
Attention: Tom Day, Administrator

DATE: December 18, 1995

FROM: Gordon Petersen

FILE: 900-1-11

SUBJECT: MEETING TIME COMMITMENTS ON CITY OF MERRITT PROJECTS

Following your call last week expressing dissatisfaction about our lack of performance in meeting time commitments on the Colletville Bylaw, and on other projects as well, we convened a meeting of USL staff involved in Merritt projects to discuss the problem and what we are going to do to resolve it. The participants were Brian Hobbs, Gary Stickel, John Dumbrell, Steve Power, Michael Cho and Gordon Petersen.

Through discussions, we concurred that the problem is attributable to a number of factors, all of which we believe can be dealt with:


- 1) Lack of communication internally, especially regarding time commitments and raising the flag of concern, if it appears that an individual is going to have difficulty for whatever reason, in meeting these commitments.
- 2) Not starting on tasks or assignment in a timely manner, which can use up any "contingency" time we had built into the schedule. When we encounter any difficulties in carrying out the task, the consequence is a delay which often means not meeting agreed to deadlines. A classic case in point is the Colletville project where we were to contact major land owners, and didn't actually get serious about it for at least a month after we said we would start. We then ran into problems in contacting the Corbetts, and after a month of trying, are only now able to meet with them.
- 3) Lack of regular communication with City staff as to status of projects and to discuss any problems either party might be encountering. Right now, considering the amount of work we are doing with Merritt these days, we are allowing communications with the City to be sporadic, rather than regular and systematic.
- 4) Our staff assigned to Merritt tasks have been very busy, and when they have been falling behind, I have not been taking the necessary action to find sufficient backup resources to help them catch up.

To rectify these problems so that we can provide better service to the City of Merritt, we are taking the following initiatives:

- 1) The USL Merritt team will meet monthly (internally) to review the status of all projects, to identify issues, and to determine how to address each issue. There will be an emphasis on time commitments relative to available manpower resources, so that when needed, we can assign additional manpower resources to ensure commitments can be met.
- 2) The USL Collettsville project team (Brian Hobbs, Gary Stickel, Michael Cho) will meet weekly starting in January.
- 3) We will provide monthly overview status reports to the City on all projects in which we are presently involved. This will serve as a prompt to request meetings with City staff where appropriate. If you are agreeable, we would suggest a review meeting with you on a bi-monthly basis.
- 4) For "as and when" assignments, such as the Zoning Bylaw mapping, Subdivision Control Bylaw and development reviews, we will more carefully review with City staff timing expectations and level of effort involved relative to our available manpower resources. While these usually won't be a problem, there may be times (as in the last three months) when we can't meet the deadlines on these assignments without jeopardizing our performance on other City projects. In such circumstances, I'm sure if we turn our minds to it, we can mutually come up with solutions that can be made to work for both parties.

In conclusion, thanks once again for drawing your concerns to us. The ball is now in our court to do what has to be done to get back to the level of service that you deserve and we want to provide. If you have any additional suggestions on how we can improve our service, please let me know.

Thanks!


Gordon Petersen

:ceg

cc: Brian Hobbs
Gary Stickel
John Dumbrell
Michael Cho
Steve Power

MEMORANDUM

TO: T.C. DAY, City Administrator
FROM: S. GILL, City Treasurer
SUBJECT: Property Tax Survey for 1995
DATE: January 16, 1996

Agenda

Please find attached a property tax survey as presented in the January issue of the Government Finance Officers Association of British Columbia. The City of Merritt taxes calculate to be the following:

1995 General Taxes	\$ 562.15
1995 Parcel Taxes	\$ 148.00
1995 Utility Charges	<u>\$ 305.00</u>
Total Municipal	\$ 1,015.15
1995 Other Taxes	<u>\$ 689.53</u>
Total Taxes (Pre-Homeowner Grant)	<u>\$ 1,704.68</u>

It is difficult to make a direct comparison of taxes paid by a Merritt resident with other cities because the level of services also needs to be considered. However, based on the total taxes calculated, Merritt taxes are in the lower half of the cities indicated in this survey.

Respectfully submitted,

S. Gill
S. GILL
City Treasurer

SSG/seh

b:\proptax.sur

1995 Property Tax Survey (amended)

Municipality	Average Assessment	General	+ Utilities	= Municipal	+ Other	= Total Taxes
West Vancouver	526,301	1,898	498	2,396	1,560	3,956
Delta - South	319,824	1,564	343	1,907	1,190	3,097
North Vancouver District	319,953	1,169	385	1,554	1,110	2,664
Delta - Ladner	264,736	1,213	456	1,669	985	2,654
Delta - North	239,699	1,095	343	1,438	891	2,329
Kelowna	172,600	1,030	436	1,466	862	2,328
Port Coquitlam	218,850	966	506	1,472	825	2,297
Burnaby	299,962	889	321	1,210	1,037	2,247
Port Moody	241,683	926	408	1,334	913	2,247
Langley TWP	201,807	799	605	1,404	824	2,228
New Westminster	215,281	1,036	355	1,391	813	2,204
Surrey	230,786	799	518	1,317	885	2,202
Saanich	239,188	1,007	246	1,253	948	2,201
Prince George	115,356	878	568	1,446	749	2,195
White Rock	229,313	1,201	110	1,311	882	2,193
Mission	171,489	845	529	1,374	790	2,164
Coquitlam	248,829	733	481	1,214	939	2,153
Kamloops	129,337	1,035	374	1,409	744	2,153
Nanaimo	144,462	880	477	1,357	759	2,116
North Vancouver City	243,219	721	447	1,168	845	2,013
Langley City	178,054	819	430	1,249	730	1,979
Maple Ridge	190,604	735	372	1,107	816	1,923
Vancouver	269,454	739	177	916	889	1,805
Cranbrook	103,038	702	459	1,161	640	1,801
Penticton	132,581	728	392	1,120	679	1,799*
Pitt Meadows	170,129	607	319	926	729	1,655
Campbell River	133,571	448	338	786	686	1,472
Chilliwack	144,204	655	40	695	748	1,443
Kitimat	86,053	442	211	653	590	1,243

Notes to the Property Tax Survey:

- the Property Tax Survey was compiled by Maple Ridge. Call 463-5221 to participate or for further information.
- Average Assessed Value is the BCAA taxable value for Single Family Residential Properties, divided by the number of occurrences on the Roll. Total Taxes are reported gross of the Homeowner Grant.
- Utility charges include water and sewerage charges reported as Regional District Levies.
- City of Vancouver assessments and tax rates are based on three-year averaging of residential and commercial land values.

Ranked by General Purposes Taxes

Municipality	\$
West Vancouver	1,898
Delta - South	1,564
Delta - Ladner	1,213
White Rock	1,201
North Vancouver District	1,169
Delta - North	1,095
New Westminster	1,036
Kamloops	1,035
Kelowna	1,030
Saanich	1,007
Port Coquitlam	966
Port Moody	926
Burnaby	889
Nanaimo	880

Prince George	878
Mission	845
Langley City	819
Surrey	799
Langley TWP	799
Vancouver	739
Maple Ridge	735
Coquitlam	733
Penticton	728
North Vancouver City	721
Cranbrook	702
Chilliwack	655
Pitt Meadows	607
Campbell River	448
Kitimat	442

(X) Merritt 710
 More overleaf... 33

1995 Property Tax Survey (con't)

Ranked by Utility Charges

<u>Municipality</u>	<u>Utility Charges</u>		
		Nanaimo	1,357
		Port Moody	1,334
		Surrey	1,317
		White Rock	1,311
		Saanich	1,253
		Langley City	1,249
		Coquitlam	1,214
		Burnaby	1,210
		North Vancouver City	1,168
		Cranbrook	1,161
		Penticton	1,120
		Maple Ridge	1,107
		Pitt Meadows	926*
		Vancouver	916
		Campbell River	786
		Chilliwack	695
		Kitimat	653
Langley TWP	605		
Prince George	568		
Mission	529		
Surrey	518		
Port Coquitlam	506		
West Vancouver	498		
Coquitlam	481		
Nanaimo	477		
Cranbrook	459		
Delta - Ladner	456		
North Vancouver City	447		
Kelowna	436		
Langley City	430		
Port Moody	408		
Penticton	392		
North Vancouver District	385		
Kamloops	374		
Maple Ridge	372		
New Westminster	355		
Delta - South	343		
Delta - North	343		
Campbell River	338		
Burnaby	321		
Pitt Meadows	319		
Saanich	246		
Kitimat	211		
Vancouver	177		
White Rock	110		
Chilliwack	40		

Meritt (305)



Ranked by School Taxes

<u>Municipality</u>	<u>School Taxes</u>
West Vancouver	1,316
Delta - South	1,046
North Vancouver District	908
Burnaby	902
Delta - Ladner	866
Coquitlam	828
Port Moody	804
Saanich	799
Delta - North	784
Surrey	784
White Rock	779
Vancouver	766
North Vancouver City	736
Langley TWP	733
Port Coquitlam	728
Maple Ridge	718
New Westminster	717
Kelowna	714
Mission	693
Langley City	647
Pitt Meadows	641
Chilliwack	640
Kamloops	625
Nanaimo	608
Prince George	607
Penticton	581
Campbell River	586
Cranbrook	547
Kitimat	547

Ranked by Municipal Taxes & Utility Charges

<u>Municipality</u>	<u>Municipal Charges</u>
West Vancouver	2,396
Delta - South	1,907
Delta - Ladner	1,669
North Vancouver District	1,554
Port Coquitlam	1,472
Kelowna	1,466
Prince George	1,446
Delta - North	1,438
Kamloops	1,409
Langley TWP	1,404
New Westminster	1,391
Mission	1,374

* Meritt 1015.15

**PLANNING DEPARTMENT
FACT SHEET**

**DEVELOPMENT PERMIT
DP1995-D**

Owner: Rail Yard Enterprises
Grant Gaucher

Civic Address: 1700 Garcia Street

Legal Description: Lot 5,6,7&8, Block 22, Plan 626, D.L. 123, K.D.Y.D., & Pcl Z;
Lot 3&4, Block 48, D.L. 123, except westerly 23.8 ft of Lot 3;
Lot 2, Block 48, D.L. 123 and Westerly 23.8 ft. of Lot 3; Lot1
Block 28, D.L. 123, except South 76ft.;part of Lot 1, see Plan
B14299; all of Plan 717, K.D.Y.D.; Part of D.L. 123,
K.D.Y.D., Plan DD5543, part of D.L. 123, K.D.Y.D., Plan
DD4612, and part of D.L. 125 K.D.Y.D., Plan 400.

Lot Size: 35108 square meters (377,916 sq.ft.)

Total Site Coverage: 27%

OCP Designation: General Commercial

Zoning Designation: C-2 (General Commercial)

Relevant Information: The applicant wishes to construct a shopping mall. This
development will be phased and will not effect all parcels of
the development initially. Please see the attached
Planning Department Report for a detailed review of this
project.

LOCATION MAP: SUBJECT PROPERTY

Please see the following Page

PLANNING DEPARTMENT REPORT

DEVELOPMENT PERMIT APPLICATION

DP1995-D

TO: Administrator
FROM: Planning Department
DATE: January 15, 1996

History of Application:

This application was formally received by the planning department in early October of 1995. Prior to the developers formal application the planning department worked with the developer on numerous occasions to ensure that the City's concerns were addressed.

As Council is aware, the developer, Mr. Grant Gaucher, voluntarily withdrew the development permit application in mid October. This was done in order for the developer to revise the facade, site plan and overall layout of the proposal.

On January 4th, 1996 the planning department received Railyard Enterprises revised site plan and design layout. This was forwarded as the second submission to Council for the approval of the development permit application. The application has been placed on the agenda for Council's Regularly Scheduled meeting of January 23, 1996.

Relevant Information:

The subject property is located at 1700 Garcia Street. The property includes a section of the abandoned C.P.R. railway, Purity Feed, Merritt Machine Shop, recycling depot, appliance repair shop, Granny's Kitchen, Liquor store and Wilderness Video. The applicant wishes to construct a phased mall complex on this site. Zoning of the property is C-2, Central Business Commercial. This application conforms to both Zoning and Official Community plan regulations for this property.

The proposed plan conforms to all setbacks for this zone. The parcel coverage of 27% falls within the maximum coverage allowable in the C-2 zone. Total size of this development is 9569 square meters (103,000 sq.ft.). The total size of the property is 35108 square meters (377,916 sq.ft.). The City's parking requirements for this

PLANNING DEPARTMENT REPORT

DP1995-D

Page 2

development have been exceeded by the developer. The City requires 319 parking spaces as per City of Merritt Zoning Bylaw 1530, 1995. The developer has provided parking for 515 cars.

The developer has provided the planning department with a coloured finished facade drawing, three dimension concept drawing and landscaping design. Due to the size of these drawings, they were not included in the referral process. However reduced non-coloured versions of the plans were included in the referrals. The planning department set up a public viewing area for the affected property owners and members of the community who wished to view the full sized conceptual drawings. All drawings will be presented to Council at the Regular Scheduled meeting of January 23, 1996.

A letter of credit in the amount of 120% of the proposed landscaping costs has been received by the planning department. This letter of credit has been established for one year, should the works not be completed in this time frame, the City will utilize the letter of credit to complete the landscaping component of this application.

The applicant is also required to submit detailed engineered drainage drawings to the planning department. This is to ensure that all drainage on this property is contained on-site. These plans are to conform to City standards. A building permit for this development will not be issued until these plans have been approved.

This development requires a variance for the number of freestanding signs that the developer wishes to incorporate into his design. The City of Merritt Sign Bylaw No. 1265, 1989 stipulates that for a development of this size only 3 signs are permitted. The developer wishes to construct 5 signs.

Agency Referrals:

This application was referred to the Ministry of Transportation and Highways for their approval as per the Municipal Act Section 979. On January 12, 1996, the planning department received written confirmation of approval from Brent MacDonald, Senior Development Technician, "The above noted development permit application is approved pursuant to Section 979 of the Municipal Act which refers to Section 57(2) of the Highway Act."

Planning Department Comments:

The new proposal as submitted by Mr. Gaucher achieves the consistency and overall theme and layout that Council envisioned in this project. Please refer to Mr. Gaucher's

PLANNING DEPARTMENT REPORT

DP1995-D

Page 3

letter requesting overall approval with some flexibility on individual design. With the scope of this project being as large as it is, it could become increasingly expensive for the developer to spend \$200.00 each time a new building is to be erected. The Ministry of Transportation and Highways has provided comments for Council to review. This letter is provided in this package.

The planning department has no concerns with this proposal and supports the proposal as presented.

Planning Department Recommendation:

1. That Development Permit Application DP1995-D be approved by resolution.

Respectfully submitted,



**Finlay Sinclair
Planner**

CITY OF MERRITT
"SECOND SUBMISSION"
DEVELOPMENT PERMIT NO. DP1995-D

AUTHORIZATION BY CITY COUNCIL, MEETING OF _____

- 1.0 LEGAL DESCRIPTION & CIVIC ADDRESS Lot 5, 6, 7 & 8, Block 22, Plan 626,
District Lot 123, Kamloops Division
Yale District, & Pcl Z.
Lot 3 & 4, Block 48, District Lot 123
Plan 717, Kamloops Division Yale District;
except Westerly 23.8 ft. of Lot 3; Lot 2,
Block 48, District Lot 123, and West 23.8 ft
of Lot 3; Lot 1, Block 48, District Lot 123,
except South 76 ft; part of Lot 1, Block 48,
District Lot 123 of South 76 ft. of Lot 1,
see Plan B14299; all of Plan 717, Kamloops
Division Yale District; Part of District
Lot 123, Kamloops Division Yale District,
Plan DD5543, Part of District Lot 123,
Kamloops Division Yale District, Plan DD4612
and part of District Lot 125, Kamloops
Division Yale District, Plan 400. 1700 Garcia St.
- 2.0 HOLDER & ADDRESS Rail Yard Enterprises Ltd.
200-3275 Lakeshore Road
Kelowna, B.C.
V1W 3S9
- 3.0 CONDITIONS TO BE VARIED OR SUPPLEMENTED:
- 3.1 Development shall generally occur as detailed in Schedule "A" and
Schedule "B" attached hereto.
- 3.2 The applicant wishes to vary Sign Bylaw 1265, 1987, Section 11.5.a
to allow 5 signs. The current maximum number of signs for a
lot 1.619 hectares is 3.
- 4.0 SPECIAL PROVISIONS:
- 4.1 Lot Consolidation, drainage, landscaping, parking,
screening, lighting, form & character of development.
Letter of Credit for 120% of professional landscaping costs is required.
- 5.0 SECURITY REQUIRED: YES NO

DEVELOPMENT PERMIT

6.0 GENERAL NOTES:

- 6.1 This Development Permit is issued subject to compliance with all of the By-Laws of the City of Merritt applicable thereto, except as specifically varied or supplemented by this Permit.
- 6.2 This Permit applies to and only those lands within the City of Merritt described in 1.0 above, and any and all buildings, structures and other development thereon.
- 6.3 The lands described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
- 6.4 If the Holder of this Permit does not substantially commence any construction with respect to which the Permit was issued within two years after the date of issuance, the Permit shall lapse.
- 6.5 Where a Permit lapses, the City will return all security required less the cost of any works undertaken by the City or its agents.
- 6.6 This permit is not a building permit.

7.0 APPROVALS REQUIRED BY MINISTRY OF TRANSPORTATION AND HIGHWAYS:

YES NO

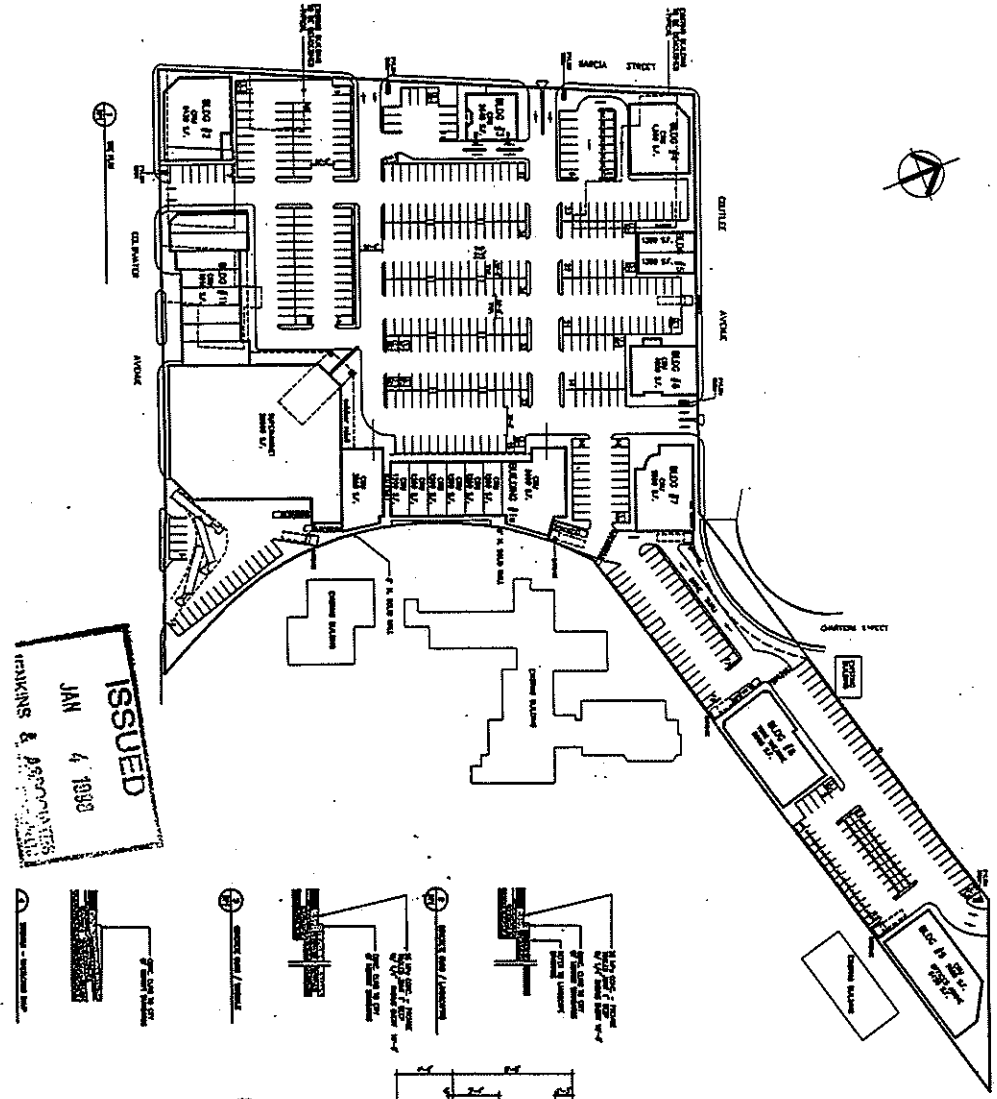
CITY OF MERRITT

DP1995-D

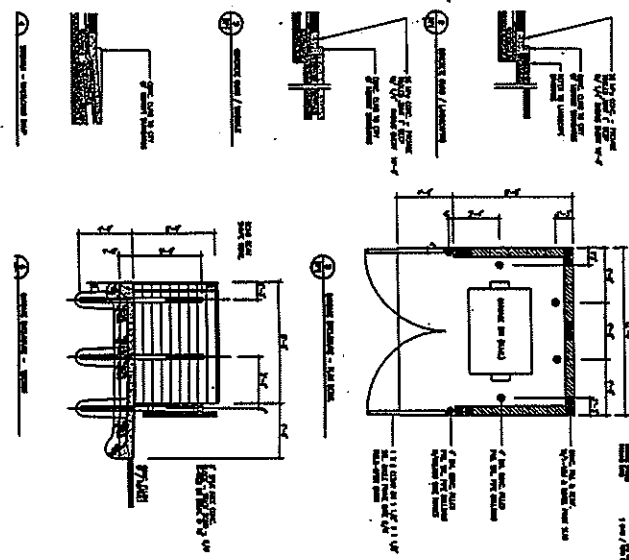
SUBJECT PROPERTY



CITY OF MERRITT
 DP1995-D
 SCHEDULE "A"



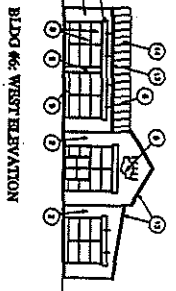
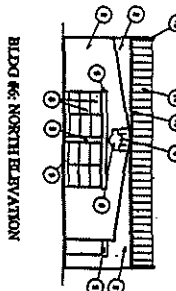
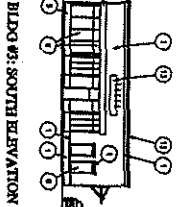
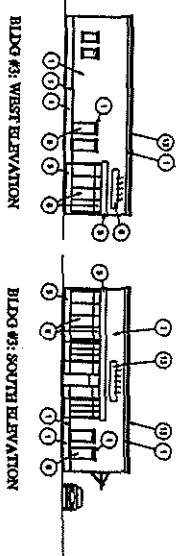
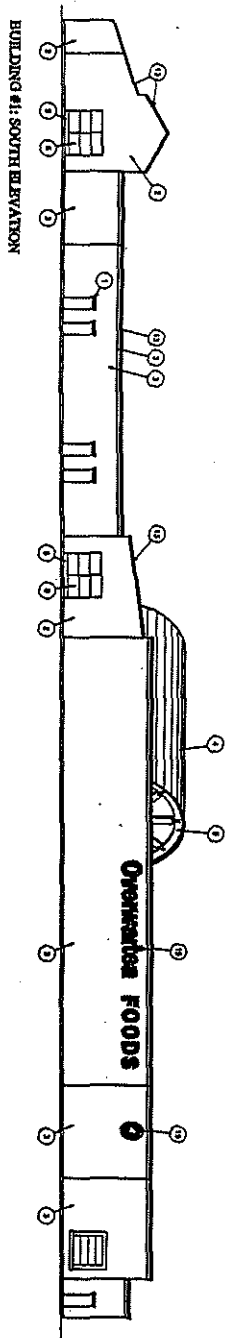
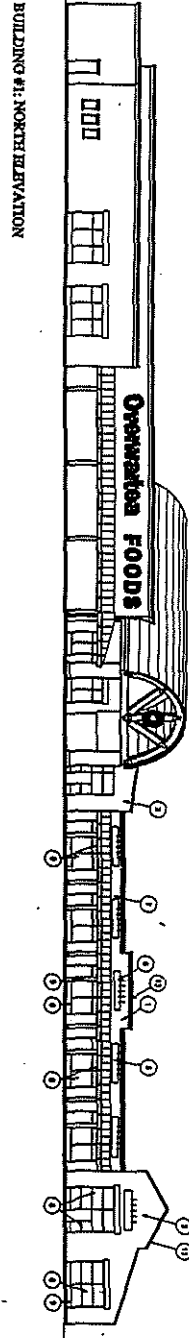
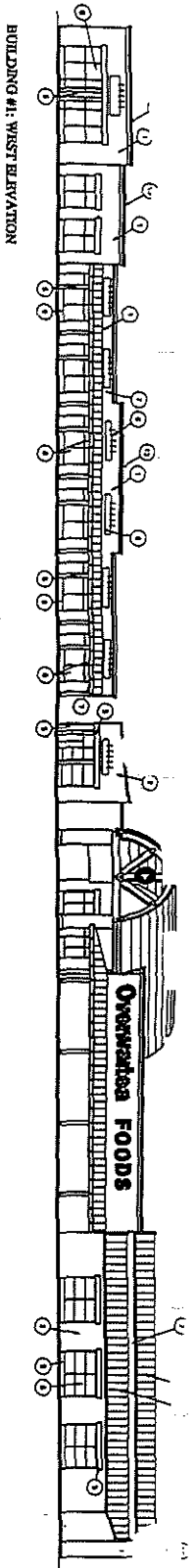
ISSUED
 JAN 4 1998
 S. SMITH & ASSOCIATES
 ARCHITECTS



FOR THE BOARD OF SUPERVISORS
 CITY OF MERRITT
 PROJECT/ALLOTMENT NO. DP1995-D
 SCHEDULE "A"
 S. SMITH & ASSOCIATES
 ARCHITECTS
 1000 10th Street
 Merritt, BC V1R 1S1
 TEL: 250-473-2222
 FAX: 250-473-2223
 E-MAIL: info@smith.ca
 WWW: www.smith.ca
 PROJECT NO. DP1995-D
 SHEET NO. S-01
 DATE: JAN 4 1998
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

<p>DATE: 1998</p> <p>PROJECT: DP1995-D</p> <p>SHEET: S-01</p>	<p>DESIGNED BY: [Name]</p> <p>CHECKED BY: [Name]</p> <p>APPROVED BY: [Name]</p>	<p>DATE: 1998</p> <p>PROJECT: DP1995-D</p> <p>SHEET: S-01</p>	<p>DATE: 1998</p> <p>PROJECT: DP1995-D</p> <p>SHEET: S-01</p>	<p>DATE: 1998</p> <p>PROJECT: DP1995-D</p> <p>SHEET: S-01</p>	<p>DATE: 1998</p> <p>PROJECT: DP1995-D</p> <p>SHEET: S-01</p>
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CITY OF MERRITT
 DP1995-D
 SCHEDULE "B"



- LEGEND**
- 1. 1st floor - main entrance
 - 2. 2nd floor - main entrance
 - 3. 3rd floor - main entrance
 - 4. 4th floor - main entrance
 - 5. 5th floor - main entrance
 - 6. 6th floor - main entrance
 - 7. 7th floor - main entrance
 - 8. 8th floor - main entrance
 - 9. 9th floor - main entrance
 - 10. 10th floor - main entrance
 - 11. 11th floor - main entrance
 - 12. 12th floor - main entrance
 - 13. 13th floor - main entrance
 - 14. 14th floor - main entrance
 - 15. 15th floor - main entrance

ELEVATIONS	DATE 2003	PROJECT RAILYARD Merritt, B.C.	SCALE 1/4" = 1'-0"	PROJECT NO. 2003
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RAIL YARD ENTERPRISES LTD.

#200 - 3275 Lakeshore Rd.
Kelowna, B.C. V1W 3S9

Telephone (604) 763-4444
Fax (604) 763-1000

**City of Merritt
2185 Voght Street
Merritt, B.C.
V0K 2B0**

Attention: *Finlay Sinclair*

Dear Sir,

Re: *Railyard Project*

Please find enclosed a letter from Jenkins & Associates regarding the above noted project.

We have shown the Food Store, the two strips attached and the two pads which will be our minimum first stage of the development.

We have not included the other pads as they are not yet leased and circumstances may change in regards to entrances, windows, etc..

I would request the D.P. to be issued for the whole site with my undertaking that the subsequent Buildings will be of the same architcial theme as enclosed and in keeping with the Jenkins & Associates letter of December 21, 1995.

I would further request a certain amount of flexibility in the design of the buildings in case tenant changes are required.

I trust the enclosed meets with your approval and will be available to discuss any questions on Tuesday at 1:00PM in Merritt.

Yours truly,
RAIL YARD ENTERPRISES LTD.


Grant Gaucher

CC: Jenkins & Assoc. - DJ
Overwaitea Foods - KB

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JENKINS & ASSOCIATES
ARCHITECTURE AND TOWN PLANNING LTD.

December 21, 1995

Grant Gaucher
369736 B.C. Ltd.
Kelowna, B.C.
VIW 3S9

Dear Grant:

RE: RAILYARD DEVELOPMENT, MERRITT, B.C.

As we discussed, the general design character of the project will be "Industrial Railyard". This approach to the design of the buildings implies use of simple forms such as shallow gabled buildings, barrel vaults and horizontal corniced buildings. The following is the palette of suggested "Industrial Railyard" materials:

Walls: Brick - 2 or 3 colors, patterned, where appropriate.
Concrete Block
Galvanized Metal

Roof: Galvanized Metal

Columns: Heavy Timber at arcade (natural)

Brackets: Metal or wood (natural)


Joists: At arcade - heavy timber (natural)

Trim: Saturated Primary Colors and Black

Also, as we discussed, many of the tenants will have specific requirements regarding ceiling heights, window and door locations, roof forms and wall materials. Can you confirm with Merritt Planning Department that changes of this type can be accommodated, as long as we remain within the general spirit of the Industrial Railyard vernacular in terms of building form and materials.

Sincerely,

JENKINS & ASSOCIATES
Architecture and Town Planning Ltd.

for 
Daniel H. Jenkins, MRAIC



CITY OF MERRITT

January 5, 1996

2185 VOGHT STREET
P.O. Box 189
MERRITT, B.C. V0K 2B0
(604) 378-4224
FAX (604) 378-2600

Dear Owner/Tenant: **"SECOND SUBMISSION"**

Please note that this is the developers revised Development Permit Application. The first application was withdrawn from Council to enable the developer to revise the plan to reflect the changes on the preceding Schedule "A".

PUBLIC NOTICE

RE: PROPOSED DEVELOPMENT PERMIT - DP1995-D

The City of Merritt is considering issuing a Development Permit for the property situated at:

1700 Garcia Street

and legally described as:

Lots 5, 6, 7 & 8, Block 22, Plan 626, District Lot 123, Kamloops Division Yale District, & Pcd Z;

Lot 3 & 4, Block 48, District Lot 123, except Westerly 23.8 ft. of Lot 3;
Lot 2, Block 48, District Lot 123, and West 23.8 ft. of Lot 3;
Lot 1, Block 48, District Lot 123, except South 76 ft; part of Lot 1, Block 48,
District Lot 123 of South 76 ft. of Lot 1, see Plan B14299;
all of Plan 717 Kamloops Division Yale District;

Part of District Lot 123, Kamloops Division Yale District, Plan DD5543,

Part of District Lot 123, Kamloops Division Yale District, Plan DD4612, and

Part of District Lot 125, Kamloops Division Yale District, Plan 400.

The applicant is proposing the construction of a mall which will incorporate 10 smaller retail units and one large grocery outlet. The entire size of all the structures will be approximately 103,000 square feet.

The purpose of the proposed Development Permit is to ensure proper parking and screening of the subject property and that the overall design characteristics of the proposal are consistent and complimentary to the existing Downtown. The objective of the

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Owner/Tenant - DP1995-D
January 5, 1996
Page 2

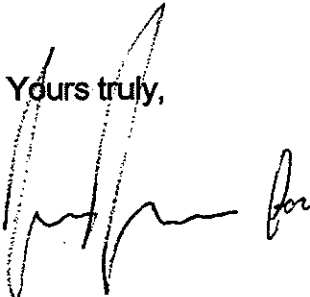
designation is to ensure that the general form and character of development is compatible with the surrounding development. Development shall be consistent with the attached Schedule "A".

For your convenience we have forwarded you reduced versions of the design plans.

A full display of the original colour design and overall layout including full landscaping plan has been set up at City Hall. We welcome you to view these drawings if you wish before you provide your written comments to Council. These drawings can be viewed along with the Development Permit at City Hall, 2185 Voght Street, Merritt, B.C. on regular working days between the hours of 8:30 a.m. and 4:30 p.m. from January 5, 1996 to January 17, 1996.

If you have any comments pertaining to the permit please submit them in writing to the undersigned prior to 4:30 PM, January 17, 1996, at Merritt City Hall.

Yours truly,



Finlay J. Sinclair
City Planner

JJ/aac
Attachments

B:DP95D.PU2

48



Province of
British Columbia

Ministry of
Transportation
and Highways

Nicola Highways District
Bag 4500, (3499 Voght St)
Merritt, B.C.
VOK 2B0
Tel: 378-9359
Fax: 378-9364

January 12, 1996

Your File:
Our File: 02-014-10885

City of Merritt
Box 189
Merritt, B.C.
VOK 2B0

Attn.: Mr. Finlay Sinclair
City Planner

Re: **Development Permit DP1995D - Rail Yard Enterprises Ltd. -
Garcia/Coutlee/Quilchena South of Route #5A/97C Nicola Avenue (Art. 841R)**

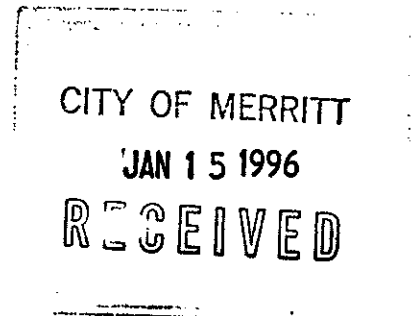
The above-noted Development Permit application is approved pursuant to Section 979 of the Municipal Act which refers to Section 57(2) of the Highway Act.

Regarding the revised traffic impact study conducted by Urban Systems for this development, our Regional Traffic Engineer offers the following comments:

"The study recommends signalization of Garcia Street at Nicola Avenue. The Ministry is opposed to the installation of a signal at this intersection unless it is as part of a one-way couplet, which I understand will NOT be installed in the near future. Without a signal at this intersection, the majority of development traffic crossing or turning left onto Nicola Avenue will have to do so at the Nicola/Voght intersection. There should be sufficient capacity to accommodate the increased traffic."

It was also noted that the study recommends installation of a 4-way stop at Voght and Coutlee. While outside of our jurisdiction, the City is advised that a stop sign in such close proximity to the signal at Voght and Quilchena may severely disrupt traffic flow on Voght.

Based on the foregoing, we affirm that the Development Permit approval is conditional upon no signalization on Nicola at Garcia until a one-way couplet is proposed.



- 2 -

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If you have any questions, please do not hesitate to call me at 378-9359.

Yours truly,

D.S. Kirk
District Highways Manager
per

A handwritten signature in black ink, appearing to read "Brent McDonald". The signature is fluid and cursive, with the first name "Brent" written in a larger, more prominent script than the last name "McDonald".

G. Brent McDonald, AScT
Sr. District Development Tech.

GBM/nm

0115gbm2

cc: Norm Parkes, Regional Traffic Engineer
Karl Klingbeil, Regional Planning and Development Technician
Rail Yard Enterprises Ltd. (Attention: Mr. Grant Gaucher)
#200 - 3275 Lakeshore Road
Kelowna, B.C.
V1W 3S9
(fax 763-1000)

MEMORANDUM

TO: Administrator
FROM: City Planner
DATE: January 17, 1996

SUBJECT: DEVELOPMENT PERMIT DP1995-H
COQUIHALLA RESOURCES

The attached Development Permit application is submitted in order to satisfy the requirements of the Official Community Plan Designation Area for the subject property.

As Council will recall the major components of the Development Permit Area relate to the following:

1. Form & Character
2. Drainage
3. Hydrology
4. Geotechnical Stability
5. Parking
6. Fencing
7. Access

Form & Character

The diversity of the building designs and the associated landscape which has been incorporated with this design make it attractive and compatible to our community.

Drainage

We are in receipt of a drainage study for flows which are to be generated and how they are to be managed. The engineer will have to sign off the culvert and detail design as well as the on site catchment and eventual discharge design. The Ministry of Transportation and Highways will also have jurisdiction to approve the final constructed drainage design as per a covenant registered against the property.

....2

Hydrology

The on site engineer will have to sign off the study which will be completed in conjunction with footing design and construction. This issue will be addressed more so through building permit as the requirements tend to be site specific.

Geotechnical Stability

This project has proceeded with a full time geotechnical technician on site under the supervision of an engineer. Documentation shows the required tests are being conducted. The engineer will be responsible for signing of the geotechnical report before a building permit will be issued.

Parking:

The requirements for parking are met with this design. The layout ensures the separation of large vehicles from smaller vehicles and ensures pedestrian safety.

Fencing

Section 4.1 of the attached Development Permit outlines the fencing requirements of this proposal. Perimeter fencing of all property bordering the Agricultural Land Reserve should be required.

Access

Oversized intersection design will be required to accommodate proper turning radius for large vehicles. This issue may be the most critical as interaction between large and small vehicular traffic can lead to serious problems if not properly managed. Proper lighting and street lining is also an issue which needs to be dealt with. The proposal as presented is deficient in lighting and intersection details and as such our recommendation will include provisions to ensure these issues are dealt with.

Administrator - Memo
January 17, 1996
Page 3

Recommendation

That Council approve DP1995-H by resolution subject to the following:

1. Before a building permit is issued proper intersection designs be submitted and approved by the City Engineer.
2. A bond be taken for the completion of the perimeter fencing along the border of the Agricultural Land Reserve.

Respectfully submitted,



Finlay J. Sinclair
City Planner

FJS/aac
B:DP95HJAN.MMO

CITY OF MERRITT

DEVELOPMENT PERMIT NO. DP1995-H

AUTHORIZATION BY CITY COUNCIL, MEETING OF _____

1.0 LEGAL DESCRIPTION & CIVIC ADDRESS District Lot 3638, Kamloops Division
Yale District, except (1) plans 37177 and
43275, & (2) part lying north of Plan
43275
Hamilton Hill Road

2.0 HOLDER & ADDRESS Coquihalla Resources Inc.
#207-1433 St. Paul St.
Kelowna, B.C.
V1Y 2E4

3.0 CONDITIONS TO BE VARIED OR SUPPLEMENTED:

3.1 Development of this project shall conform to the attached
Schedules:
A: Location
B: Site Plan
C: Form & Character
D: Geotechnical
E: Drainage
F: Fencing

4.0 SPECIAL PROVISIONS:

4.1 No on-street parking permitted.
Fencing of all perimeters of property which abuts onto the
Agricultural Land Reserve. Fences to be completed to
the standards set by the Agricultural Land Commission.

5.0 SECURITY REQUIRED: YES NO

DEVELOPMENT PERMIT

6.0 GENERAL NOTES:

- 6.1 This Development Permit is issued subject to compliance with all of the By-Laws of the City of Merritt applicable thereto, except as specifically varied or supplemented by this Permit.
- 6.2 This Permit applies to and only those lands within the City of Merritt described in 1.0 above, and any and all buildings, structures and other development thereon.
- 6.3 The lands described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
- 6.4 If the Holder of this Permit does not substantially commence any construction with respect to which the Permit was issued within two years after the date of issuance, the Permit shall lapse.
- 6.5 Where a Permit lapses, the City will return all security required less the cost of any works undertaken by the City or its agents.
- 6.6 This permit is not a building permit.

7.0 APPROVALS REQUIRED BY MINISTRY OF TRANSPORTATION AND HIGHWAYS:

_____ YES _____ NO

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CITY OF MERRITT

January 5, 1996

2185 VOGHT STREET
P.O. Box 189
MERRITT, B.C. V0K 2B0
(604) 378-4224
FAX (604) 378-2600

Dear Owner/Tenant,

PUBLIC NOTICE
RE: PROPOSED DEVELOPMENT PERMIT - DP1995-H

The City of Merritt is considering issuing a Development Permit for the property situated at:

Hamilton Hill Road - Above Information Centre

and legally described as:

District Lot 3638, Kamloops Division Yale District except
(1) plans 37177 and 43275, &
(2) part lying north of plan 43275

The purpose of the proposed Development Permit is to ensure the following:

- | | |
|---------------------------|------------|
| 1) Form & character | 5) Parking |
| 2) Drainage | 6) Fencing |
| 3) Hydrology | 7) Access |
| 4) Geotechnical Stability | |

Development shall be consistent with the attached Schedule "A".

A copy of the proposed permit is attached or copies are available for inspection at City Hall, 2185 Voght Street, Merritt, B.C. on regular working days between the hours of 8:30 AM and 4:30 PM from January 5, 1996 to January 17th, 1996.

If you have any comments pertaining to the permit please submit them in writing to the undersigned prior to 4:30 PM, January 17th, 1996, at Merritt City Hall.

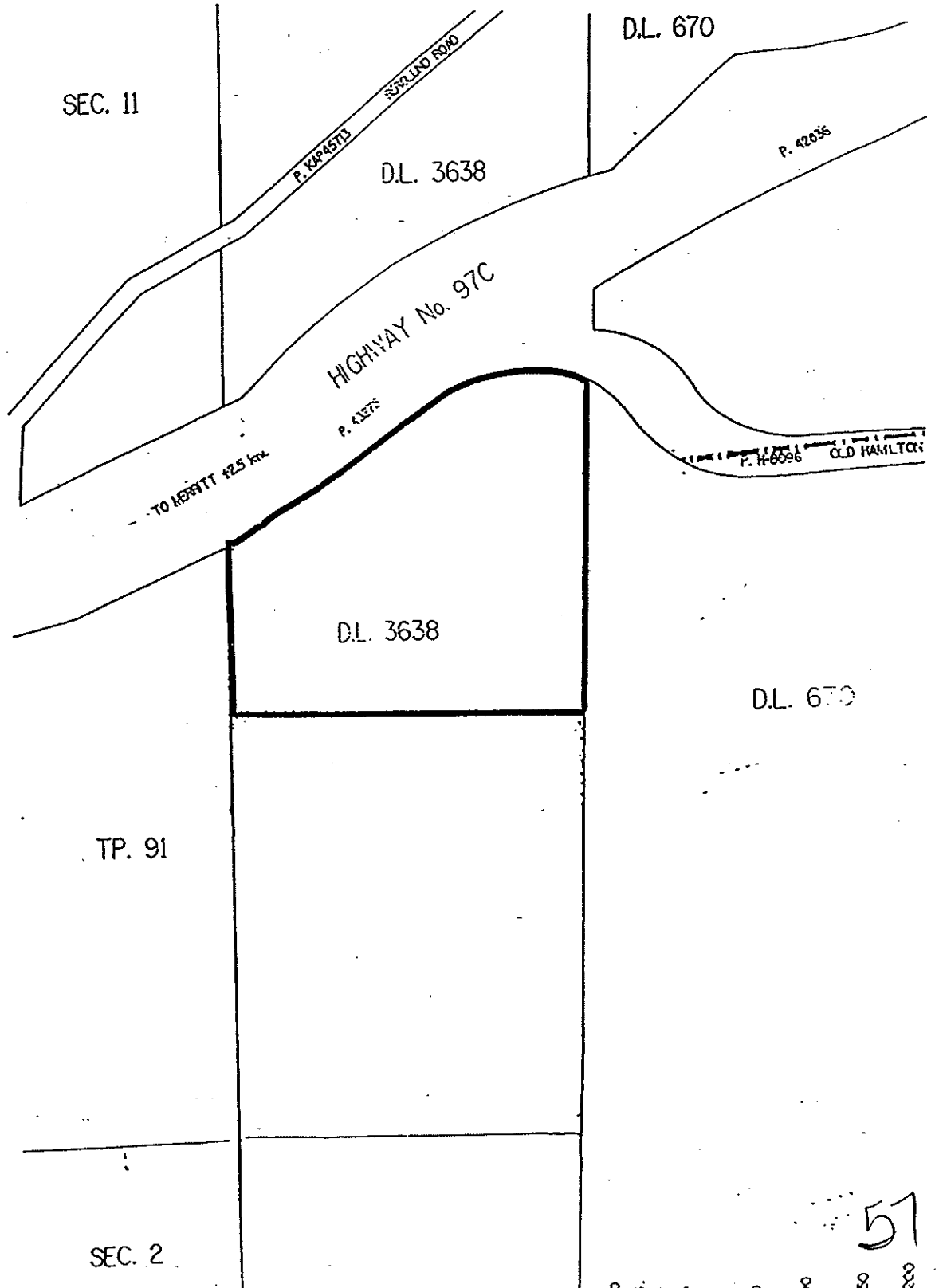
Yours truly,

Finlay J. Sinclair
City Planner
FJS/aac
Attachments
B:DP95H.PUB

CITY OF MERRITT

DP1995-H

SCHEDULE "A"



SEC. 11

D.L. 670

P. 428457D
SURFUND ROAD

D.L. 3638

P. 42835

HIGHWAY No. 97C

TO MERRITT 42.5 km.

P. 42875

P. 42876
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OLD HAMILTON

D.L. 3638

D.L. 670

TP. 91

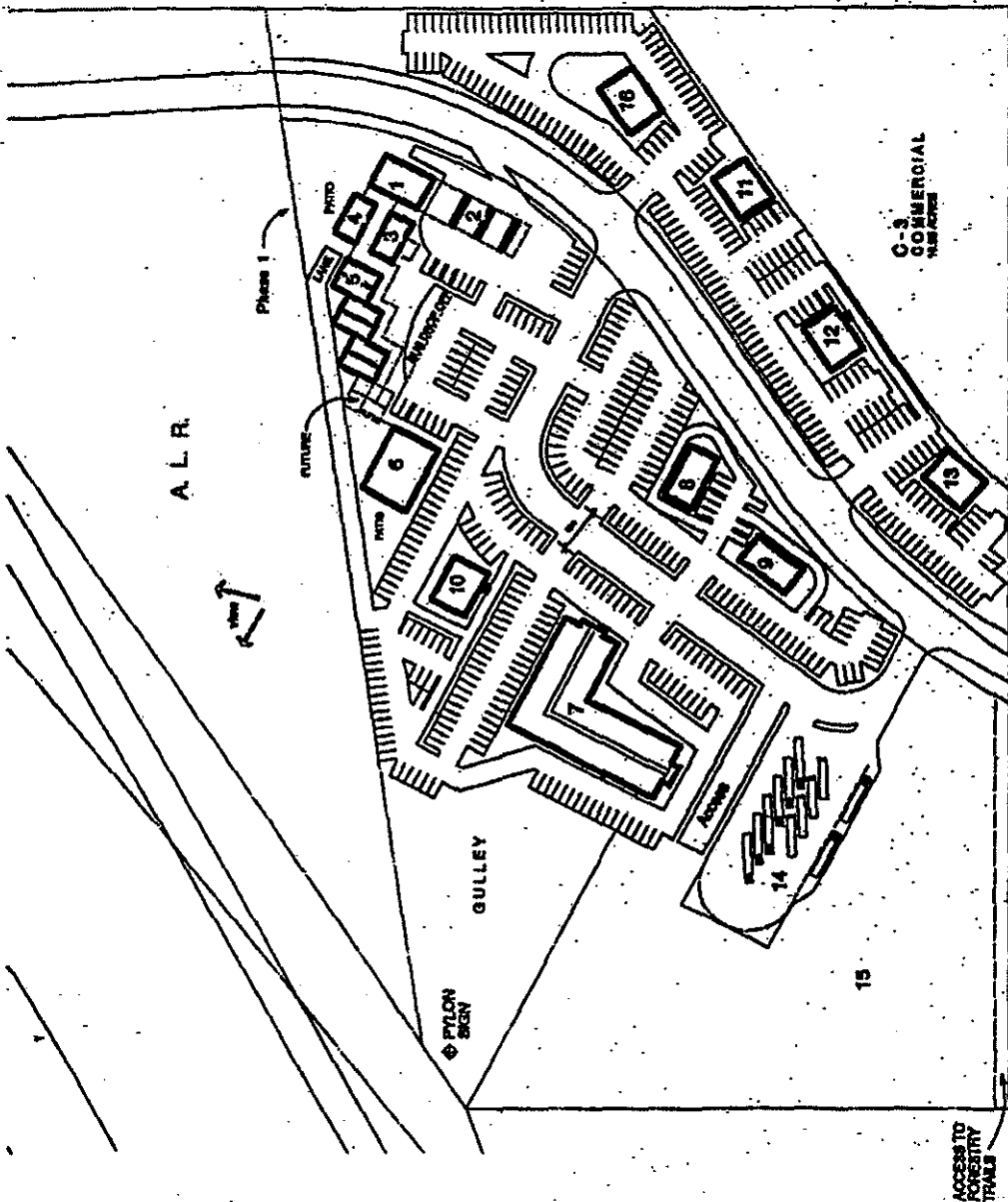
SEC. 2

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CITY OF MERRITT
 DP1995-H
 SCHEDULE "B" - SITE PLAN

(The entire elevated drawings and site layout are available for inspection at City Hall.)

- PARKING**
1. COMPENSATORY LOT/PAVING
 2. SEE PLAN 1 FOR DETAILS
 3. SEE PLAN 2 FOR DETAILS
 4. SEE PLAN 3 FOR DETAILS
 5. SEE PLAN 4 FOR DETAILS
 6. SEE PLAN 5 FOR DETAILS
 7. SEE PLAN 6 FOR DETAILS
 8. SEE PLAN 7 FOR DETAILS
 9. SEE PLAN 8 FOR DETAILS
 10. SEE PLAN 9 FOR DETAILS
 11. SEE PLAN 10 FOR DETAILS
 12. SEE PLAN 11 FOR DETAILS
 13. SEE PLAN 12 FOR DETAILS
 14. SEE PLAN 13 FOR DETAILS
 15. SEE PLAN 14 FOR DETAILS
 16. SEE PLAN 15 FOR DETAILS
- TOTAL PARKING SPACES: 17,100**
- LEGEND**
1. Conference Room 2500 sq. ft.
 2. Gas Bar
 3. Information Centre 1800 sq. ft.
 4. Waitrooms 1800 sq. ft.
 5. Gift Shop 4000 sq. ft.
 6. Family Restaurant 8000 sq. ft.
 7. Hotel 70 Bed
 8. Commercial Pod 2400 sq. ft.
 9. Commercial Pod 2400 sq. ft.
 10. Commercial Pod 2400 sq. ft.
 11. Commercial Site 0.7 acres
 12. Commercial Site 0.7 acres
 13. Commercial Site 0.8 acres
 14. Bus & Truck Parking (75)
 15. Commercial Site 3.8 acres
 16. Commercial Site 0.8 acres



Master Plan
 Highway Service and Information Centre
 Merritt, B.C.
 Coquilhalla Resources Inc.
 TURIK CRAWFORD ARCHITECTS



c/

"THE POINTE"

TRAVEL/ INFORMATION CENTRE, MERRITT. B.C.
COQUIHALLA RESOURCES INC.

SCHEDULE OF MATERIALS

DECEMBER 12 1995

THE GENERAL CHARACTER OF THE BUILDINGS WILL BE SIMILAR TO THE EXISTING INFORMATION CENTRE.(See enclosed coloured rendering)

- MATERIALS: ROOFS.** SLOPED ROOFS WILL BE METAL COLOURED RED OR BLUE (SEE RENDERING)
- WALLS** POST & BEAM LOG CONSTRUCTION WITH LOG,WOOD SIDING & STUCCO INFILL ALL IN NATURAL WOOD STAINS. THE A&W WILL BE THEIR CORPORATE DESIGN BUT STUCCO COLOURS WILL BE MATCHED TO THE LOG STAINS.
- GLASS** STORE FRONT & DORMER WINDOWS WILL BE CLEAR GLASS.
- SIGNAGE** ILLUMINATED PYLON SIGNS AT HAMILTON HILL RD FOR PROJECT IDENTIFICATION. (SEE SITE PLAN)
LOCAL BUILDING SIGNS TO BE CARVED WOOD WITH COLOURED GRAPHICS.
SURFACE MOUNTED BUILDING SIGNS TO BE RECESSED ABOVE WINDOWS MADE OF ACRYLIC & ILLUMINATED FROM ABOVE.
- LANDSCAPE** BOULEVARDS- GRASS
TREES- NATIVE SHRUBS & TREES.

TURIK- CRAWFORD ARCHITECTS

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THE POINTE

MERRITT, B.C.

TJUNK-CRAWFORD ARCHITECTS / COOIHALLA RESOURCES INC.

(Colored original in file.)

EBA Engineering Consultants Ltd.**CITY OF MERRITT
DP1995-H
SCHEDULE "D"**

December 19, 1995

EBA File: 0808-95-88253.1

City of Merritt
P.O. Box 189
Merritt, B.C.
V0K 2B0

Attention: Mr. Finlay Sinclair
City Planner

Dear Sir,

Subject: Confirmation of Professional Assurance
Assurance of Geotechnical Engineering Services
Highway Service and Information Centre, Highway 97C & 5, Merritt

The following letter provides assurance that EBA Engineering Consultants Ltd. (EBA), of Kelowna, has been retained to provide geotechnical engineering services, for the development of the above noted project. All geotechnical engineering requirements for the proposed commercial building site will be provided by EBA.

We trust this letter meets your present requirements. Should you require any additional information please do not hesitate to contact our office.

Respectfully submitted,
EBA ENGINEERING CONSULTANTS LTD.



A. H. Albert Losch, P.Eng
Project Engineer

c: Derek Crawford, Turik Crawford Architects

**GEOTECHNICAL INVESTIGATION
PROPOSED COMMERCIAL DEVELOPMENT
OLD HIGHWAY 5A AND HIGHWAY 5,
MERRITT, B.C.**

0808-88732

D-1

GEOTECHNICAL INVESTIGATION
PROPOSED COMMERCIAL DEVELOPMENT
OLD HIGHWAY 5A AND HIGHWAY 5
MERRITT, B.C.

Submitted to:

REID CROWTHER & PARTNERS LTD.
Kelowna, B.C.

Submitted by:

EBA ENGINEERING CONSULTANTS LTD.
Kelowna, B.C.

June, 1994

0808-88732



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- APPENDIX A** - Preliminary Site Plan: Figure No. 1
 - General Site Plan: Figure No. 2
 - Cross-Sections: Figure No. 3
- APPENDIX B** - Testpit Logs: Figure No's. 88732-1 to 88732-16



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1.0 INTRODUCTION

EBA Engineering Consultants Ltd. (EBA) understands that C3 Commercial development north of the intersection of old Highway 5A and Highway 5, in Merritt, B.C. is proposed. We have carried out an investigation of the soil and water conditions at this site and this report presents the results of the subsurface investigation and recommendations for site preparation, foundation design, and the surrounding roadway access and parking pavement designs.

Written authorization to proceed with this investigation was given by Mr. Gordon Savage, A.Sc.T. of Reid Crowther & Partners Ltd., on May 3, 1994.

2.0 PROPOSED DEVELOPMENT

The proposed development is understood to consist of a single-storey commercial building. The building will be a highway "rest stop" with a restaurant, gas bar, and information centre. We also understand that the building floor slab elevation could either be up to several metres above or below existing onsite grades. Although we do not have detailed loading conditions for this development, we believe that the loads will be typical for this type of structure.

We understand that there will be paved parking around and south of the proposed building. An access roadway will be constructed onto the site, as well as a section of old Highway 5A will be upgraded in front of the property.

A preliminary site plan of the proposed development is as shown on Figure No. 1, in Appendix A.

3.0 SITE DESCRIPTION

The proposed development site is located on old Highway 5A, approximately 500 metres east of Highway 5, in Merritt. The property is approximately rectangular shaped and 8 hectares in size. It is bounded by the old Highway 5A to the north and undeveloped land to the south, west, and east.

At the time of our investigation, the site was covered by grass and isolated trees.

The north to northwest portion of the property slopes down to the old Highway 5A, while the south to southeast portion of the property is hilly with a natural depression area, running east-west, in approximately the middle of the parcel. The depression is approximately 1 metre lower than the surrounding area.

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4.0 INVESTIGATION PROGRAM

On May 16, 1994, a total of sixteen testpits were excavated on the site using a rubber-tired backhoe operated by Scotty's Excavating Ltd., of Merritt, B.C. The excavation of the testpits was supervised and logged in the field by a geotechnical engineer from our Kelowna office.

The testpits were excavated to a depth range of between 0.4 to 4.2 metres below current local grades. The locations of the testpits, (TP-1 through TP-16), are shown on Figure No. 2 in Appendix A. Detailed testpit logs are shown on Figures 88732-1 through 88732-16 in Appendix B. Testpits No's. 13 to 16, were located along old Highway 5A as shown on Figure No. 2.

Continuous written logs were maintained in the field and included a description of the soil types encountered, depths of changes of soil types, visual classifications and consistency of the subsurface soils. Pertinent information is shown on the Testpit Logs presented in Appendix B.

Representative soil samples recovered from the testpits were taken to EBA's laboratory for further identification and testing. Moisture content and Atterberg Limit values were obtained on the recovered samples, and these are shown on the Testpit Logs.

In addition to the testpit program, a total of two percolation tests were carried out on the site to determine the feasibility of constructing a conventional septic field disposal area near the proposed building. The percolation testholes were excavated by shovel. Testpit No's. 5 and 6 were excavated adjacent to the percolation holes. The locations of these percolation tests, PH-1 and PH-2, and backhoe testpits, TP-5 and TP-6, are shown on Figure No. 2 in Appendix A. Results of the percolation tests are presented in Section 8.0.

5.0 SUBSURFACE CONDITIONS

5.1 Soil Conditions

The site soil profile at the testpit locations, (TP-1 to TP-12), generally consists of a thin layer of grass sod/topsoil over either a layer of natural SILT or a natural SAND and GRAVEL material. The silt and sand and gravel is sometimes interbedded.

Along the old Highway 5A, (TP-13 to TP-16), a layer of GRAVEL (crush) was encountered over a soft SILT material. A more detailed soil profile description is outlined below.

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The natural silt material, encountered on the site, generally has a trace of clay and a trace to some fine grained sand, is stiff to very stiff, friable, dry to damp, and grey to yellowish brown. The friable nature of the material makes it very susceptible to disturbance. The material will "crumble" when disturbed in its dry state and then could conceivably settle if saturated with water at a later date. Results of the Atterberg Test show that the silt is non-plastic and would therefore have a low to very low expansive potential.

The natural sand and gravel material is generally well graded having a trace to some silt, some layers were observed to be silty. The sand and gravel is generally compact, dry to damp, and brown to grey.

Along the old Highway 5A, (TP-13 to TP-16), a 150 millimetre layer of GRAVEL (crush) was encountered over a soft, moist, SILT subgrade.

For a more detailed description of the soil conditions, refer to the Testpit Logs in Appendix B. The locations of the Testpits are shown on Figure No.2. Several cross-sections through the site are provided on Figure No.3.

5.2 Groundwater Conditions

At the time of our investigation, no water seepage was encountered in the testpits and the soils encountered were mainly damp to dry. We believe that the depth to the groundwater table in the area will be relatively deep or well below proposed site grades.

6.0 DISCUSSIONS AND RECOMMENDATIONS - BUILDING AREA

6.1 General

As mentioned, we understand the proposed development is to consist of a single-storey commercial building. We also understand that the grades beneath the structure may either be cut or filled by as much as of 2 metres. As noted, we have no details of the proposed loading conditions at this time, although we assume loads to be typical for this type of structure.

The subsurface conditions on the site consist essentially of grass sod/topsoil over either a natural stiff to very stiff silt or a compact sand and gravel soil. These soils are interbedded across the site.

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Therefore, we recommend that the grass sod/topsoil, any fill material and any other organic soils be removed, within and around the proposed building structure, to expose either the natural silt or the sand and gravel materials. The building can then be supported on shallow strip and pad spread footings on the natural undisturbed stiff to very stiff silt or the compact sand and gravel (see Section 6.3).

Note that the silt material is very sensitive to disturbance and should be protected during construction (see Section 6.3.1).

If the grade beneath the building is raised, compacted granular structural fill should be used for this purpose (see Section 6.3.2).

In general, this site is well suited for the proposed development and we are of the opinion that from a geotechnical point of view the proposed development is feasible provided the following recommendations are included in the design and construction of the building's foundations and floor slab.

6.2 Site Preparation

We would expect that excavation for the building would involve the removal of any grass sod/topsoil, other organic soils, any fill material, and any weathered, soft, loose, wet or disturbed soils, and any other deleterious material, to expose a subgrade of either the undisturbed natural stiff to very stiff silt, or the undisturbed natural compact sand and gravel materials.

As mentioned in Section 6.1, the natural silt is very susceptible to disturbance. We recommend that the final excavation should be carried out with a smooth-mouthed clean-up bucket to minimize disturbance. Also, the silt subgrade surface should be protected immediately after final excavation and inspection as outlined in Section 6.3.1 below.

6.3 Building Foundations

6.3.1 Footings on the Natural Soils

As outlined in Section 6.2 above, we recommend that all grass sod/topsoil, other organic soils, any fill material, and any weathered, soft, loose, wet, or disturbed soils, and any other deleterious material, be removed to expose either the natural undisturbed stiff to very stiff silt or the compact sand and gravel material.

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We recommend that strip and pad foundations founded on the **undisturbed natural stiff to very stiff silt material** or the **undisturbed natural compact sand and gravel material** may be designed with a maximum allowable static bearing pressure of 96 kPa (2,000 psf).

We recommend that the bearing capacity of the foundation subgrades should be confirmed throughout the site during construction by a geotechnical engineer from EBA.

It should be noted that the allowable bearing pressure will be significantly reduced, in the relatively fine grained natural SILT, if the material is disturbed during construction. In addition, the material will "soften" upon wetting and "crumble" during drying (see Section 5.1). Therefore **ALL EFFORTS** should be made to keep any stripped or excavated areas covered and not exposed to wet or dry weather. We recommend that the foundation subgrade should be covered with a thin skim coat of lean mix concrete, as soon as possible after stripping is complete, and after the subgrade has been inspected, to preserve the bearing capacity.

6.3.2 Footings on Structural Fill

Prior to the placement of structural fill, the subgrade should be prepared as outlined in Section 6.2 above. Stripping should extend to the outside of all proposed fill areas.

We recommend that stripped areas, exposing the natural soil subgrade, should be inspected by a geotechnical engineer from EBA prior to placing and compacting any structural fill.

Granular structural fill material should be well graded, with a maximum size of 75 mm and relatively "clean", with not more than 5% passing the #200 sieve. Structural fill should be approved well in advance of the filling operation by the geotechnical engineer.

Structural fill should be compacted to a minimum of 100% of its "Standard Proctor" maximum dry density and within 2% of "optimum" moisture content in accordance with ASTM D698. We recommend that the actual density of the structural fill should be determined with insitu density tests.

The compacted granular structural fill should extend beyond the edges of the footing for a distance equal to the depth of structural fill beneath the footing or 1.5 metres, whichever is greater. For example, where the depth of compacted structural fill is to be 0.9 metres, the area of compacted structural fill should

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extend 1.5 metres on all sides of the footing at the grade of the footing. The structural fill should be compacted to the outside edge of the fill to the specifications presented above.

Foundations supported on **granular structural fill** may be designed on the basis of an allowable net static bearing pressure of **96 kPa (2,000 psf)**.

6.3.3 Transition Pads

Where the proposed building pad is to be situated over proposed cut / fill daylight line, we recommend the cut portion of the pad, and 1.5 metres horizontally beyond the exterior footing lines, be overexcavated a minimum of 1.0 metre. A compacted fill blanket of granular structural fill should then be placed and compacted under the entire building pad.

6.4 General Foundation Requirements

Strip footings should not be less than 400 millimetres in width. Pad spread footings should be not less than 600 millimetres wide.

All exterior footings should be provided with a perimeter drainage system at their base.

A minimum of 750 millimetres of soil cover must be provided above the bottom of all exterior footings in order to ensure adequate protection from frost.

Footings founded on the undisturbed natural materials (Section 6.3.1), must be inspected by the geotechnical engineer prior of placing the forms for the foundations.

If footings are placed on compacted granular structural fill (Section 6.3.2), the undisturbed natural soil subgrade should first be inspected by a geotechnical engineer prior to placing the fill.

6.5 Foundation Factor

It is our opinion that the "foundation factor", F, as described in the 1992 British Columbia Building Code, Sentence 4.1.9.1 (11), should be assumed to be 1.0 on the basis of Table 4.1.9.C.

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6.6 Floor Slab

Prior to construction of the floor slab, the area should be prepared as outlined in Section 6.2 and 6.3.1 above. Any natural silt material exposed under the floor slab area may either be protected by a thin skim coat of lean mix concrete, or a minimum of 150 millimetres of bedding sand. Again, the floor slab area should be protected as soon as possible after final excavation and inspection is complete.

We recommend that the floor slab should be directly underlain by a vapour barrier to inhibit moisture movement up through the slab. The vapour barrier should be underlain by free draining granular material to interrupt capillary attraction. The fill must be compacted within 2% of optimum moisture content and 100% of "Standard Proctor" maximum dry density as determined in accordance with ASTM D698.

If the grade beneath the floor slab is raised, compacted granular structural fill should be used for this purpose. Structural fill shall be free draining granular fill with not more than 5% fines (passing the #200 sieve). Compaction requirements for any structural fill used to raise floor slab areas is 100% of "Standard Proctor" maximum dry density (to ASTM D698) at water contents within 2% of optimum moisture content.

7.0 DISCUSSIONS AND RECOMMENDATIONS - PAVEMENT AREAS

7.1 Old Highway 5A Upgrade

7.1.1 Site Preparation

A section of the old Highway 5A was investigated to assess the existing subgrade condition. Our testpits along the road shoulders, Testpit No's. 13 through 16, all encountered approximately 150 millimetres of 20 millimetre minus crushed gravel overlying a soft and moist silt subgrade.

Based on our findings, we estimate that the subgrade soft silt has a California Bearing Ratio (CBR) of less than 5, signifying that the subgrade is of "poor" quality.

We understand that the roadway will be classified as "Rural Local Undivided".

Based on this information, we recommend that the roadway area be overexcavated a minimum of 0.6 metres below the proposed bottom of base course grade. The surface of the subgrade should then be proof-rolled with a large non-vibratory roller or loaded dump-truck to detect soft spots. Any soft

D-13

spots should be overexcavated and replaced with compacted granular subbase fill as outlined in Section 7.1.2 below. The proof-rolling operation should be monitored by a geotechnical engineer from EBA.

7.1.2 Pavement Structure

We recommend the minimum pavement section used for upgrading the old Highway 5A for moderate traffic volumes should consist of the following:

Table 1
Recommended Minimum Pavement Section for old Highway 5A Upgrade:

THICKNESS	MATERIAL
75 mm	ASPHALTIC CONCRETE
150 mm	BASE COURSE, 25 mm minus crushed gravel.
150 mm	BASE COURSE, 50 mm minus crushed gravel.
600 mm	SUBBASE COURSE, select clean pit run sand and gravel.

The base and subbase course materials should be systematically compacted to a minimum of 100% and 95%, respectively, of ASTM D698 (Standard Proctor) maximum dry density within 2% of optimum moisture content. In situ density tests should be carried out to confirm that the densities specified have been achieved during construction.

7.2 Proposed Site Access Roadway and Parking Areas

7.2.1 Site Preparation

As mentioned in Section 5.1, the onsite soils conditions consist of either a stiff to very stiff silt or a compact sand and gravel material. We also have identified that the silt material is friable and is therefore very susceptible to disturbance.

Based on this information, we recommend that the final excavation should be carried out with a smooth-mouthed clean-up bucket to minimize disturbance. Any soft/loose spots identified should be overexcavated and replaced with compacted granular subbase fill as outlined in Section 7.2.2 below. Also, any exposed silt, at the final subgrade surface, should be protected immediately after final excavation and inspection with a lift of subbase material.

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We expect heavy truck traffic on the access roadway and on portions of the parking area.

7.2.2 Pavement Structure

We recommend the minimum pavement section used for the site access roadway and TRUCK parking areas for moderate traffic volume should consist of the following:

Table 2
Recommended Minimum Pavement Section
for Proposed Access Roadway and Parking Areas.

THICKNESS	MATERIAL
75 mm	ASPHALTIC CONCRETE
150 mm	BASE COURSE, 25 mm minus crushed gravel.
300 mm	SUBBASE COURSE, select clean pit run sand and gravel.

We recommend the minimum pavement section used for LIGHT VEHICLE parking areas should consist of the following:

Table 3
Recommended Minimum Pavement Section
for Proposed Light Vehicle Parking Areas.

THICKNESS	MATERIAL
50 mm	ASPHALTIC CONCRETE
150 mm	BASE COURSE, 25 mm minus crushed gravel.
200 mm	SUBBASE COURSE, select clean pit run sand and gravel.

The base and subbase course materials should be systematically compacted to a minimum of 100% and 95%, respectively, of ASTM D698 (Standard Proctor) maximum dry density within 2% of optimum moisture content. In situ density tests should be carried out to confirm that the densities specified have been achieved during construction.

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8.0 PERCOLATION TEST RESULTS

As mentioned in Section 4.0, a total of two testpits (TP-5 and TP-6) and two percolation tests (PH-1 and PH-2) were carried out on the site in the proposed septic disposal field area. The locations of these testpits and percolation tests are shown on Figure No. 2 in Appendix A. Testpit logs are provided in Appendix B.

The subsurface soils encountered in Testpit No's. 5 and 6 was a silt material with some sand and a trace of clay. Below a depth of 1.2 metres in Testpit No. 6, a well graded sand and gravel with some silt, was encountered.

Testpit No's. 5 and 6 were terminated at 4.0 and 2.5 metres, respectively. No bedrock or groundwater was encountered in the two testpits.

Percolation tests were carried out in accordance with current Ministry of Health Guidelines. The percolation test results from P-1 and P-2 were 15 minutes and 25 minutes per inch (25 millimetres), respectively. These results fall within the maximum acceptable limits of 30 minutes per inch for a standard septic field design.

9.0 REUSE OF ONSITE MATERIALS AS BACKFILL

Any topsoil, other organic soil, fill, or the natural silt material on this site is considered unsuitable for use as structural backfill. However, these materials may be reused as general landscape fill.

Visual analyses indicate that the existing natural sand and gravel has excess silt material throughout. We normally recommend that structural backfill have no material over 75 millimetres in size and no more than 5% fines passing the #200 sieve.

Therefore, we recommend this material not be reused as structural fill material beneath building areas. Also, we recommend the natural sand and gravel soil not be re-used as a free-draining backfill material in such areas as directly beneath slabs, as pavement base material, or behind retaining walls.

We believe that the material may only be considered as fill beneath the base and sub-base fill in the proposed roadway access and parking areas only if strict control of the placement of this material, including both wetting and drying of the material, can be achieved. If the material is reused, the contractor should be advised that failure to achieve the necessary compaction could result in him having to overexcavating the material and replacing it with structural fill as specified earlier.

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0-16

The sand and gravel material may be reused as general backfill in landscape areas.

10.0 TEMPORARY AND PERMANENT SLOPES

10.1 Temporary Cut Slopes

Excavated slopes below the existing ground surface, in the natural soils, may be cut to a slope of 1 horizontal to 1 vertical to a depth of about 1.2 metres, and 1.5 horizontal to 1 vertical for excavation depths between 1.5 and about 3 metres. We do not anticipate excavation requirements over this depth.

The slope should be covered with a poly sheet to prevent surface saturation and erosion during wet weather conditions, and drying and "ravelling" during dry weather conditions.

Temporary cut slopes require inspection by a professional engineer in accordance with Worker's Compensation Guidelines.

10.2 Permanent Cut Slopes

Permanent slopes cut in natural undisturbed silt or the sand and gravel material may be cut at slopes as steep as 2 horizontal to 1 vertical and remain stable once vegetated. However, 2.5 horizontal to 1 vertical slopes are recommended for slopes over about 1.5 metres in height to allow for suitable vegetation growth such as grass or shrubs.

10.3 Permanent Fill Slopes

Permanent fill slopes should be constructed no steeper than 2 horizontal to 1 vertical.

All permanent fill slopes should ideally be comprised of granular structural fill material (see Section 9.0). Any fill placed on the site to raise the grade for support of floor slabs or foundations must be structural fill.

When placing fill in horizontal lifts adjacent to areas sloping steeper than 5 (horizontal) to 1 (vertical), horizontal keys and vertical benches should be excavated into the existing adjacent slope area, as directed by the geotechnical engineer.

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No compacted granular structural fill should be placed in an area subsequent to keying and benching until the area has been inspected by a geotechnical engineer from EBA. The upper 150 millimetre surface of the exposed subgrade should then be scarified in place prior to placing the first lift of granular structural fill material.

Permanent fill slopes should then be compacted in lifts to a minimum of 98% Standard Proctor dry density, within 2% of the "optimum" moisture content, as determined in accordance with ASTM D698. Permanent fill placed in proposed landscape areas may be compacted in lifts to a minimum of 95% Standard Proctor dry density.

Each lift should be treated in a like manner until the desired finished grades are achieved. Care should be taken to extend compactive effort to the outer edge of the slope. Compacted fill slopes must be overbuilt and cut back to grade, exposing the compacted inner fill core.

11.0 SITE DRAINAGE

11.1 General Drainage Considerations

During and after construction, it is important that care be taken to prevent the uncontrolled runoff and erosion of any soil slopes. Site grading should be designed in such a manner so as to prevent the discharge of surface water over the crest of slopes.

A foundation drainage system should be installed at the building perimeter. The system should be placed at all footing elevations, and connected to ensure positive drainage.

Roof, pad and slope drainage should be directed away from slopes and areas of structures to suitable disposal areas (drywells - see below) via non-erodible devices (i.e. gutters, downspouts, pipes, concrete swales..).

11.2 Drywell Feasibility

As mentioned, the site soil conditions generally consist of a silt material, and a sand and gravel material. Two percolation tests were conducted in the silt material (see Section 8.0) and the resulting percolation values were 15 and 25 minutes per inch in the silt. Published estimates of the hydraulic conductivities (permeability values) for these percolation rates fall between about 5×10^{-3} to 2.5×10^{-3} centimetres per second.

D-1

We believe that the sand and gravel material should have a higher permeability than the silt material. A preliminary conservative estimate of the permeability of the sand and gravel soils would be on the order of 1×10^{-2} to 5×10^{-2} centimetres per second.

The permeability values of the silt material would therefore be classified as being "low" while the permeability of the sand and gravel would be "medium".

Based on the above results, we believe that drywells can be utilized on the site. The thickness and interbeds of silt and sand and gravel material varies across the site, and the exact position of each proposed drywell has not been determined, we recommend that the drywell design be based on the conservative side (i.e. based on silt permeabilities).

If more detailed permeability results are required for each proposed drywell position, we suggest that shallow testpits be excavated, and percolation tests be conducted, at each proposed drywell location prior to design.

12.0 UNDERGROUND FUEL STORAGE TANKS

We believe that fibreglass underground fuel storage tanks will be placed near the gas bar area.

For the excavation, we anticipate that conventional sump pumping will be sufficient to maintain a dry excavation during construction, the deepest testpits did not encounter any seepage.

The buried fuel storage tanks must have sufficient restraint to resist the buoyancy forces of the worst potential groundwater conditions on the empty tanks. Although the groundwater table was not evident in the testholes, we believe that either perched groundwater or infiltrated precipitation water may collect in the closed depression in the silt (low permeability) surface that will be created by the storage tank excavation. Therefore, we believe a seasonal water table that fully submerges the buried tanks should be assumed for design. Restraint against buoyancy forces can be provided by a concrete apron slab over top of the buried tanks, or by fastening the tanks to a saddle or slab under the tanks.

Fibreglass tanks should be backfilled with a pea gravel placed in lifts uniformly around the tanks and very lightly tamped. Pea gravel is one of the few materials that will achieve a satisfactory density to support asphalt or apron slabs with only light compaction. The compaction required to densify other materials could potentially result in damage to the fibreglass tanks.

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13.0 REVIEW OF DESIGN AND CONSTRUCTION MONITORING

EBA should be given the opportunity to review details of the proposed grading plan and foundation design related to the geotechnical aspects of the project.

Stripped areas, exposing the natural soil subgrade, should be inspected by a geotechnical engineer prior to placing any foundation forms or structural fill material.

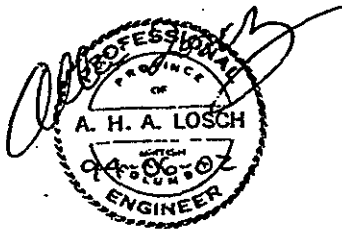
Careful monitoring of any fill placement is required. Structural fill approval and placement should be supervised by a technical representative from EBA.

Any temporary or permanent cut or fill slopes should be reviewed by EBA prior to and during construction.

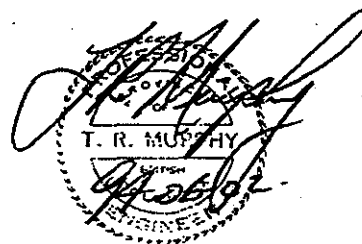
14.0 CLOSURE

We trust this report meets your present requirements. We would be pleased to provide any further information that may be needed during design and to advise on the geotechnical aspects of specifications for inclusion in contract documents. Should you require any additional information or inspection services please do not hesitate to contact our office.

Respectively submitted,
EBA ENGINEERING CONSULTANTS LTD.



A. H. Albert Losch, P.Eng
Project Engineer



T.R. Murphy, P. Eng.
Manager, Okanagan Region

Reid
Crowther

FAKED
DEC. 14/95

Please refer to file 39605-00-3
3-002MHC (MUN)

December 13 1995

City of Merritt
PO Box 189
Merritt, BC
V0K 2B0

CITY OF MERRITT
DEC 15 1995
RECEIVED

Attention: Mr. Finlay Sinclair

Dear Sir:

**Re: Coquihalla Resources Inc.
Merritt Commercial/Residential Site
Preliminary Drainage Report**

The following report is a preliminary drainage study of the above mentioned site. The purpose of this document is to set out a preliminary drainage plan for the above mentioned site which will meet both current City of Merritt and Ministry of Transportation and Highways requirements. The report addresses those issues listed below:

- project background and site description;
- storm drainage design criteria;
- pre-development conditions and flows;
- post-development conditions and flows;
- storm water detention;
- impacts on the downstream system.

1.0 BACKGROUND

It is proposed to construct a C3 commercial site and a 30 lot residential development. The proposed development site is located on the old Highway 5A, approximately 500m east of Highway 5 in Merritt. The property is rectangular shaped and approximately 28 ha in size. It is bounded by the old Highway 5A to the north and undeveloped lands to the south, east and west.

Reid Crowther & Partners Ltd.

Consulting Engineers

#201, 3275 Lakeshore Road, Kelowna, British Columbia V1W 3S9 Phone: (604) 762-3727 Fax: (604) 762-7789

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City of Merritt
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The proposed site will be serviced by a conventional gravity storm sewer collection system routed through the site and discharged into a small detention pond located near the north west corner of the property. The pond will be used to control the release of the excess flow generated by the increase in development.

The purpose of this document is to set out a preliminary drainage plan for the above mentioned site which will meet both current City of Merritt and Ministry of Transportation and Highways requirements.

2.0 STORM DRAINAGE DESIGN CRITERIA

The existing site was analyzed based on both the City of Merritt and the Ministry of Transportation and Highways design criteria. In summary, the criteria used consists of the following:

- The site was evaluated using the major / minor system concept.
- The minor system is to be designed to accommodate the 1:5 year return period events in the commercial zone of the site and the 1:2 year return period events in the residential zone of the site.
- The major system is to be designed to accommodate the 1:100 year return period events.
- The storm water detention facility is to be designed to accommodate the 1:5 year return period events.

The site drainage has been evaluated using the rational formula as follows:

$$Q_p = \frac{CIA}{360}$$

where Q_p = peak runoff in cubic metres per second,
C = runoff coefficient,
I = rainfall intensity in millimetres per hour,
A = tributary area in hectares.

The values of the runoff coefficients used were taken from the Ministry of Transportation and Highways design guidelines as:

- residential C = 0.6
- commercial C = 0.9
- open lands C = 0.2

These criteria to manage post-development flows at pre-development levels are created and applied with the general intent of reducing adverse impacts both on the development site and on the downstream system.

3. SITE EVALUATION

3.1 Pre-Development Conditions

The site is currently undeveloped with a land cover of mostly range grasses and light forest. The general slope of the land is across the site from southeast to northwest at an approximate slope of 15%. Land in the southern section of the site drains mostly across the west property line of the site, whereas the northern section tends to drain into small gulleys and is routed down to the northwest corner of the site.

An analysis of the pre-developed conditions was carried out using the rational formula. A summary of the calculations are shown below. The rainfall intensities were taken from the IDF curves found in the City of Merritt subdivision bylaw.

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3-002MHC (MUN)

SUB-BASIN NO.	LAND COVER TYPE	AREA (A, ha)	RUNOFF COEFF. (C)	FLOW PATH (L, m)	COVER FACTOR (K)	SLOPE (S, %)	CONC. TIME (Tc, min)
1	Range/Light Forest	22.0	0.20	525	1.2	15%	18.8
Total		22.0	0.20				19.0

Totals		
Area	=	22.0
Weighted Runoff Coefficient	=	0.20
Time of Concentration	=	19.0
Intensity (2 year) mm/hour	=	16
Intensity (5 year) mm/hour	=	22
Peak Flow - 2 year (m ³ /s)	=	0.20
Peak Flow - 5 year (m ³ /s)	=	0.27

From the pre-development summary, it was found that it is necessary to limit post-development flows to 0.20m³/s based on the 2-year (residential subdivision) design condition and 0.27m³/s based on the 5-year (commercial zone) design condition.

3.2 Post-Development Conditions

As mentioned earlier, it is proposed to develop both a commercial site and a residential subdivision with the commercial zone designed to accommodate the 1:5 year flows and the residential zone to accommodate the 1:2 year flows.

An analysis of the post-development conditions was carried out using the rational formula. A summary of the calculation is shown below. The rainfall intensities were taken from the IDF curves found in the City of Merritt subdivision bylaw.

E-5

City of Merritt
 39605-00-3
 December 13, 1995
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3-002MHC (MUN)

SUB-BASIN No.	LAND COVER TYPE	AREA (A, ha)	RUNOFF COEFF. (C)	FLOW PATH (L, m)	COVER FACTOR (K)	SLOPE (S, %)	CONC. TIME (Tc, min)
<u>Option1</u>							
1	Range/Light Forest	7.5	0.20	325	1.2	15%	11.7
2	Residential	6.0	0.60	65	3.5	8%	1.1
		13.5	0.38				13.0
<u>Option2</u>							
3	Commercial	4.5	0.90	60	5.0	3%	1.2
4	Range/Light Forest	4.0	0.20	200	1.2	15%	7.2
		8.5	0.57				9.0

FROM TO SUBBASIN TO	ESTIMATED SUB-BASIN FLOW TO CHANNEL	MANNING 'n'	SLOPE (S, %)	CALCULATED DIAMETER (m)	VELOCITY (V, m/s)	FLOW PATH (L, m)	CONC. TIME (Tc, min)
<u>Option1</u>							
2-out	0.283	0.010		0.301	3.97	425	1.8
<u>Option2</u>							
3-out	0.512	0.010		0.508	2.52	275	1.8

Totals

Option1

Area = 13.5
 Weighted Runoff Coefficient = 0.38
 Time of Concentration = 15.0
 Intensity (2 year) (mm/hour) = 18

Peak Flow (m³/s) = 0.26

Option2

Area = 8.5
 Weighted Runoff Coeff. = 0.57
 Time of Concentration = 11.0
 Intensity (5 year) (mm/hour) = 33

Peak Flow (m³/s) = 0.44

From the post-development analysis, it was found that there is a significant increase in the runoff rates and that this increase must be detained prior to discharge downstream. Detention volume calculations were also performed and are summarized on the following page in both tabular and graphical format.

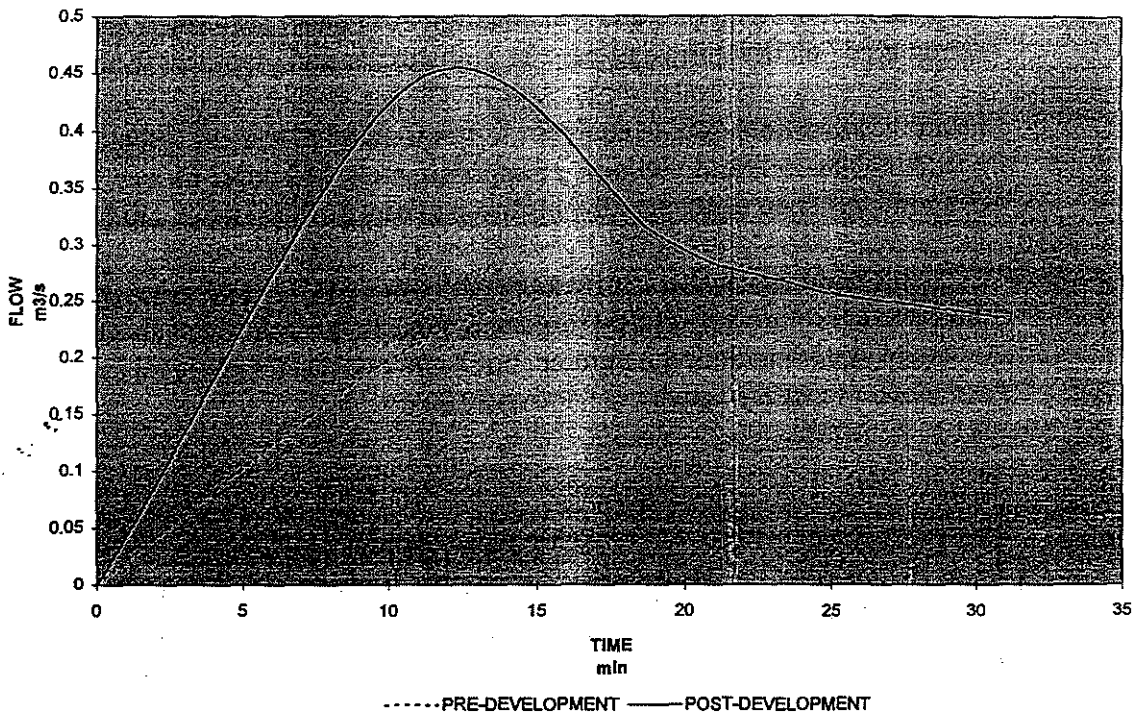
From the detention volume analysis, it was found that a small detention pond was needed with a minimum volume of approximately 190 cubic metres. Provision for the pond has been made near the northwest corner of the site in a natural gully.

The major drainage system consists of the overland flow paths designed to convey the 100-year return period flows to the site discharge point. For this site, the major drainage system includes the gutters on the site roads and any ditches or swales that are created to safely convey the 100-year flows.

TIME (min)	1:5 YEAR RETURN PERIOD					
	PRE-DEV FLOWS (m ³ /s)	POST-DEV FLOWS (m ³ /s)	PRE-DEV VOLUME (m ³)	POST-DEV VOLUME (m ³)	VOLUME TO DETENTION (m ³)	CUMULATIVE VOLUME (m ³)
0	0	0	0	0	0	0
11	0.212	0.445	70.0	146.7	76.8	76.8
19	0.269	0.310	158.7	249.0	90.3	167.0
21	0.269	0.283	177.5	195.6	18.2	185.2
23	0.269	0.269	177.5	182.3	4.8	190.0
25	0.269	0.256	177.5	173.4	-4.1	0.0
27	0.269	0.249	177.5	166.7	-10.7	0.0
29	0.269	0.243	177.5	162.3	-15.2	0.0
31	0.269	0.236	177.5	157.8	-19.6	0.0
				DETENTION	VOLUME	190.0

E-7

DETENTION REQUIREMENTS - 5 YR DESIGN CONDITIONS



3.3 *Downstream Impacts*

In addition to the impacts on the site, the impacts on the existing downstream drainage system must also be evaluated. This was done by analyzing an approximate area of the drainage basin upstream of the site discharge point. The critical issue to resolve is whether the increase in development on the aforementioned site will produce discharges that will exceed the capacity of downstream culverts along the highway.

From available contour mapping, the total drainage basin was approximately sized to be 180 ha. Comparing the 12 ha that is to be developed on the site to the total area (only 6% developed), it can be concluded that the increase in flow will not critically effect the capability of the downstream culverts to handle the new flows.

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In addition to the size difference, the existing gully in the northwest corner of the site provides more than enough storage capacity to efficiently control the discharge from the site to pre-development levels.

4.0 CONCLUSIONS

The proposed site that is to be developed will not significantly effect the existing drainage conditions in the area. It is proposed that a small detention pond be constructed to reduce the peak post-development discharges to pre-development levels prior to discharging from the site. The pond is located in a natural gully so the construction necessary to create the pond will be minimal. With the presence of the detention pond and the correctly sized outlet control structure, there will be essentially no significant impact on the downstream system.

We trust that this report meets your requirements. Should there be any further questions or issues of concern please feel free to contact us.

Yours very truly

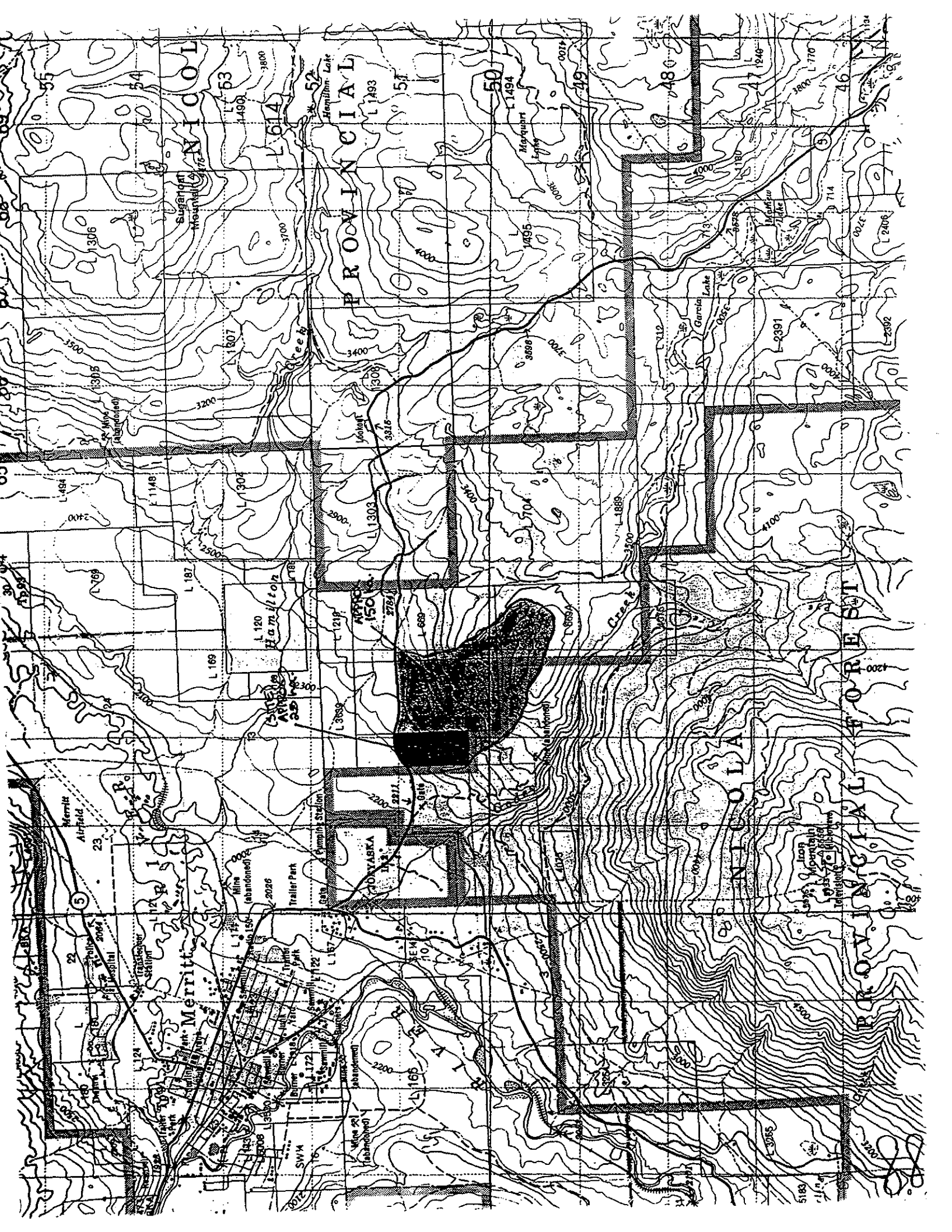
REID CROWTHER & PARTNERS LTD.



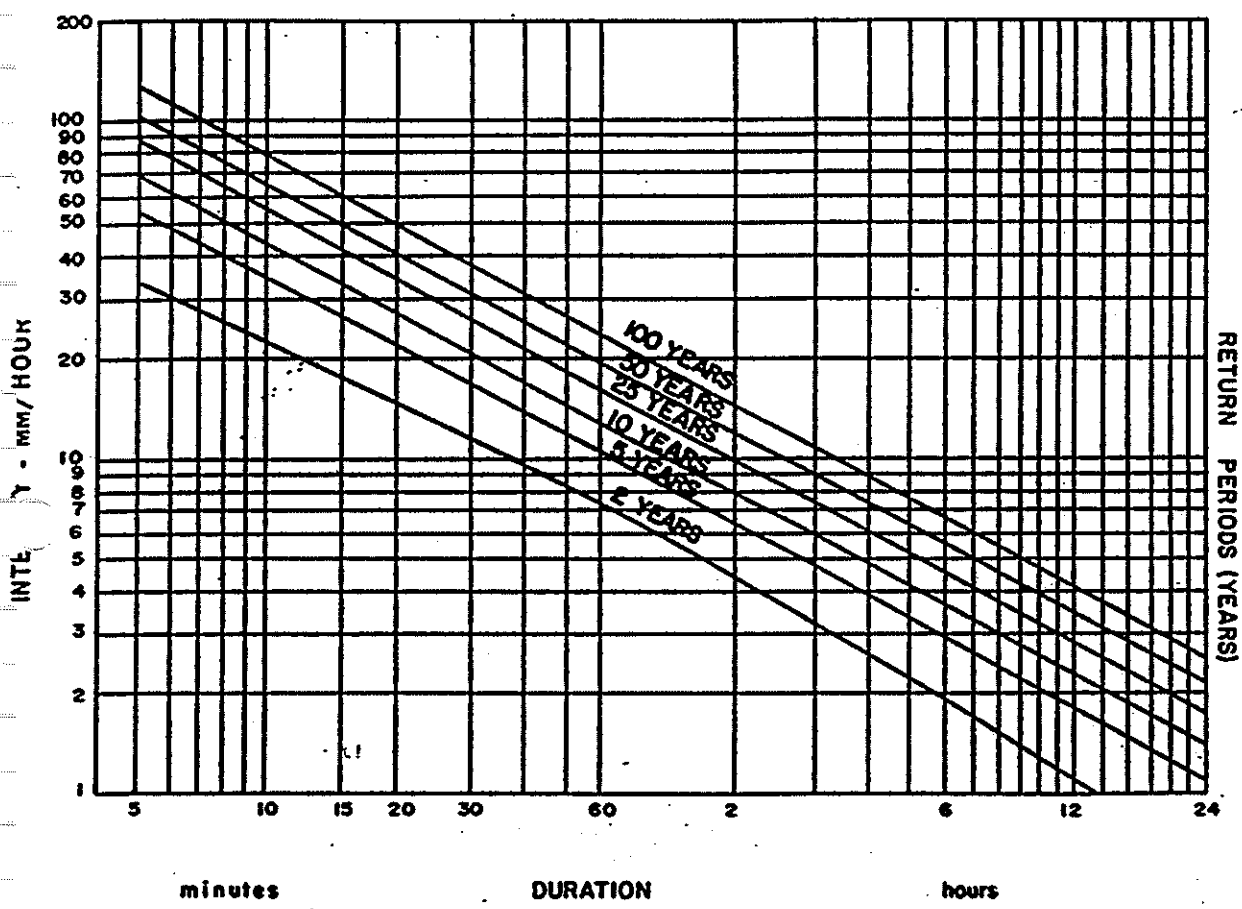
M.H. Cameron, P.Eng.
Project Manager
Municipal Division

LEJ:f

Copy to: Mr. Derek Crawford
Turik Crawford Architects



E-10



NOTE
 CURVES DEVELOPED FROM CITY OF KAMLOOPS...
 DAYTON AND KNIGHT "GUERIN CREEK MASTER DRAINAGE PLAN."

CITY OF MERRITT					RAINFALL INTENSITY CURVES OWN: B. MCL CHG: M. L. D.	SCALE: N. Y. S.	OWN. NO. DS-17
OCTOBER, 1985	NO. DATE	REVISION	BY	APP'D			

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CITY OF MERRITT
DP1995-H
SCHEDULE "F"

SCHEDULE D: FENCING SPECIFICATIONS

D.5: WIRE FABRIC FENCE WITH TWO STANDS BARBED WIRE

1. All posts and brace poles shall be pressure treated in accordance with CSA Standard 080.5, using a wood preservative non-toxic to surrounding plant material.
2. Line posts shall be 8.0 ft. in length and 4" - 5" in diameter.
3. Corner and brace posts shall be 8.0 ft. in length and 5" - 6" in diameter.
4. Bracing poles shall be 3" - 4" in diameter.
5. All line and corner posts shall be machine pointed to permit driving of posts.
6. The wire mesh fencing material shall meet the following specifications:
 - 6.1 Minimum wire gauge - 12.5 A.W.G.
 - 6.2 Overall Height - 48"
 - 6.3 Min. number of horizontal strands - 9
 - 6.4 Max. spacing between horizontal strands - 8"
 - 6.5 Max. spacing between vertical stays - 16"
 - 6.6 Wire intersections of non-slip design
 - 6.7 Galvanized - CSA G164
7. The barbed wire fencing material shall meet the following specifications:
 - 7.1 Number of strands - 2
 - 7.2 Minimum wire gauge - 12.5 A.W.G.
 - 7.3 Maximum spacing between barbs - 6"
 - 7.4 Number of points per barb - 4
 - 7.5 Galvanized - CSA G164
8. Brace wire shall meet the following specifications:
 - 8.1 Number of strands - 2
 - 8.2 Minimum wire gauge - 12.5 A.W.G.
 - 8.3 Galvanized - CSA G164
9. The staples used in fence construction shall meet the following specifications:
 - 9.1 Minimum wire gauge - 9.0 A.W.G.
 - 9.2 Minimum length - 1.75"
 - 9.3 Galvanized - CSA G164
10. Line posts shall be placed no more than 10.0 ft. apart and be firmly anchored in the soil to a depth not less than 30".
11. Corner brace assemblies shall be constructed as indicated in the Schedule D.5 drawings.
12. An intermediate brace assembly shall be constructed as shown in the Schedule D.5 drawings and spaced as required by terrain or every 660.0 ft.
13. Barbed wire shall be prestretched prior to tying off. Tension wire to 600 lbs., relax to 250 lbs., then staple securely to brace assemblies. Securely staple barbed wire to line posts allowing for wire movement.

continued

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D.5

F-2

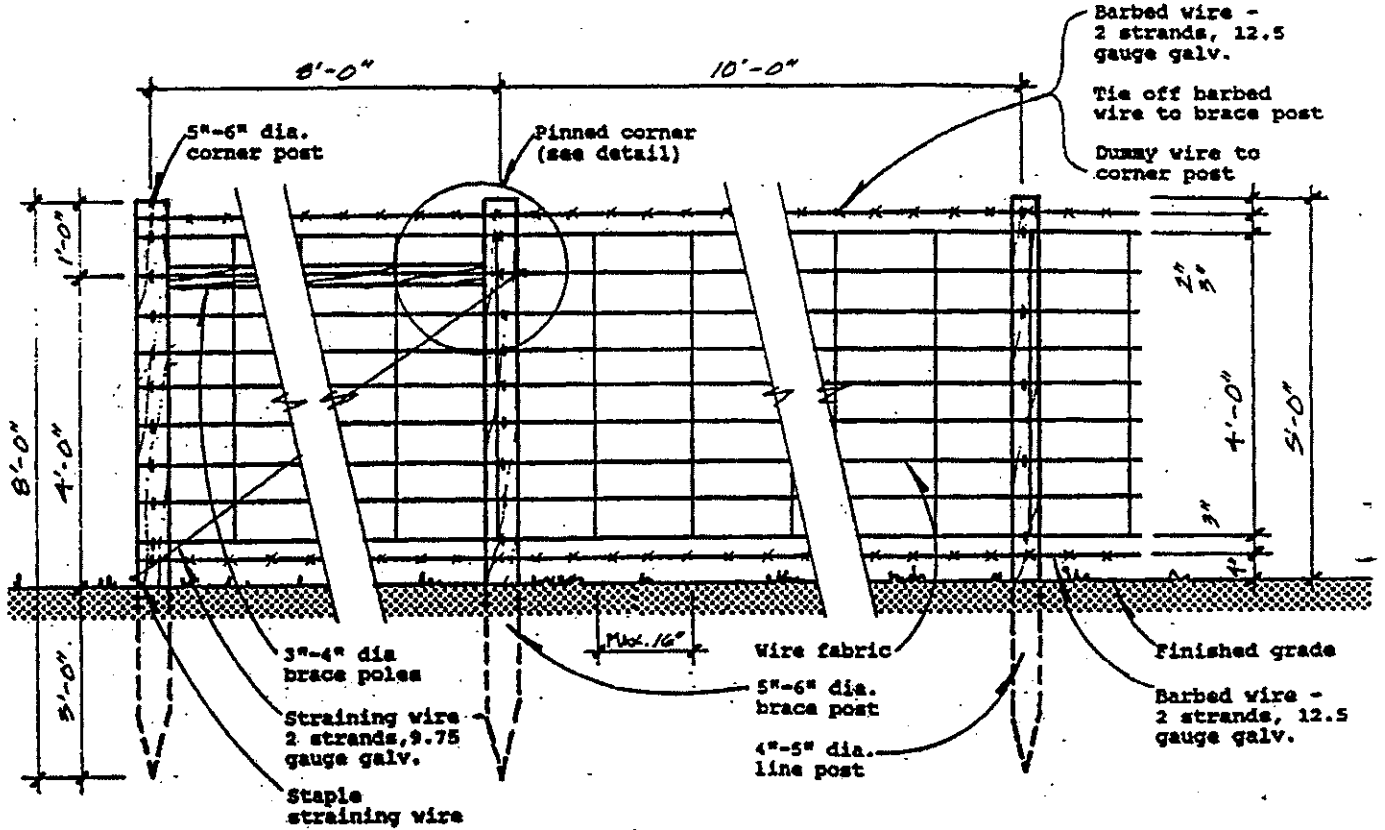
SCHEDULE D: FENCING SPECIFICATIONS

D.5: WIRE FABRIC FENCE WITH TWO STANDS BARBED WIRE (continued)

14. Wire mesh shall be stretched and securely attached by staples at each wire intersection with the brace assembly posts. At line posts, wire mesh shall be attached by staples at alternate wire intersections with posts. (see Schedule D.5 drawings) Securely staple to line posts allowing for wire movement.
15. Wire mesh and barbed wire shall be spaced as shown in the Schedule D.5 drawings.
16. The fence shall be constructed in accordance with these specifications and details provided in the Schedule D.5 drawings which forms part of these specifications.

SCHEDULE D: FENCING SPECIFICATIONS

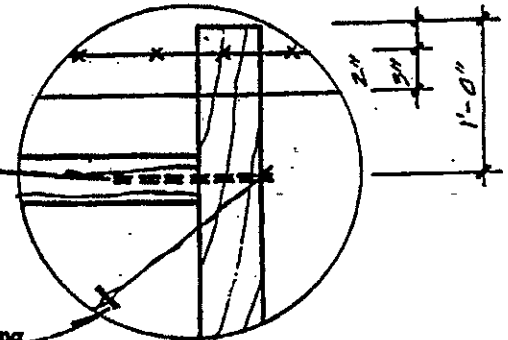
D.5: Wire Fabric Fence with Two Strands Barbed Wire



Pinned Corner

3/8" x 12" rebar driven into 3/8" drilled hole. Wrap brace wire around 1" rebar protruding through brace post

Tensioning batten



F-4

D.L. 670

P. 4245713

D.L. 3638

P. 42835

REQUESTED APPROVAL

REVISED LOCATION OF ACCESS - TO BE 20 M R.O.W.

PROPOSED DEVELOPMENT MAY CHANGE DI SUBDIVISION PROCESS WHICH IS UNDER THE JURISDICTION OF THE APPROVING OFFICE TRANSPORTATION AND HIGHWAYS.

HIGHWAY No. 97C

P. 42275

ALR

P. H-8096

OLD HAMILTON HILL ROAD

PREVIOUS APPROVAL
RESOLUTION # 852/94
APPROVAL FOR
12 M. ACCESS ROAD.

C-3
D.L. 3638

D.L. 670

PROPOSED ACCESS ROAD

PROPOSED SUBDIVISION LOT COVERAGE

LOT 1 = 1145m ²	LOT 14 = 1104m ²	LOT 27 = 1336m ²
LOT 2 = 1044m ²	LOT 15 = 1289m ²	LOT 28 = 1191m ²
LOT 3 = 1044m ²	LOT 16 = 1192m ²	LOT 29 = 1250m ²
LOT 4 = 1035m ²	LOT 17 = 1050m ²	LOT 30 = 1250m ²
LOT 5 = 1333m ²	LOT 18 = 1074m ²	LOT 31 = 1078m ²
LOT 6 = 1217m ²	LOT 19 = 1009m ²	LOT 32 = 1074m ²
LOT 7 = 1269m ²	LOT 20 = 1195m ²	LOT 33 = 1076m ²
LOT 8 = 1507m ²	LOT 21 = 1062m ²	LOT 34 = 1087m ²
LOT 9 = 1017m ²	LOT 22 = 1382m ²	LOT 35 = 1099m ²
LOT 10 = 1060m ²	LOT 23 = 1661m ²	LOT 36 = 4.39ha
LOT 11 = 1065m ²	LOT 24 = 1323m ²	LOT 37 = 5.89ha
LOT 12 = 1004m ²	LOT 25 = 1490m ²	
LOT 13 = 1000m ²	LOT 26 = 1490m ²	

155 m

Required fencing



93

11

P. 91

2

TO MERRITT 42.5 km

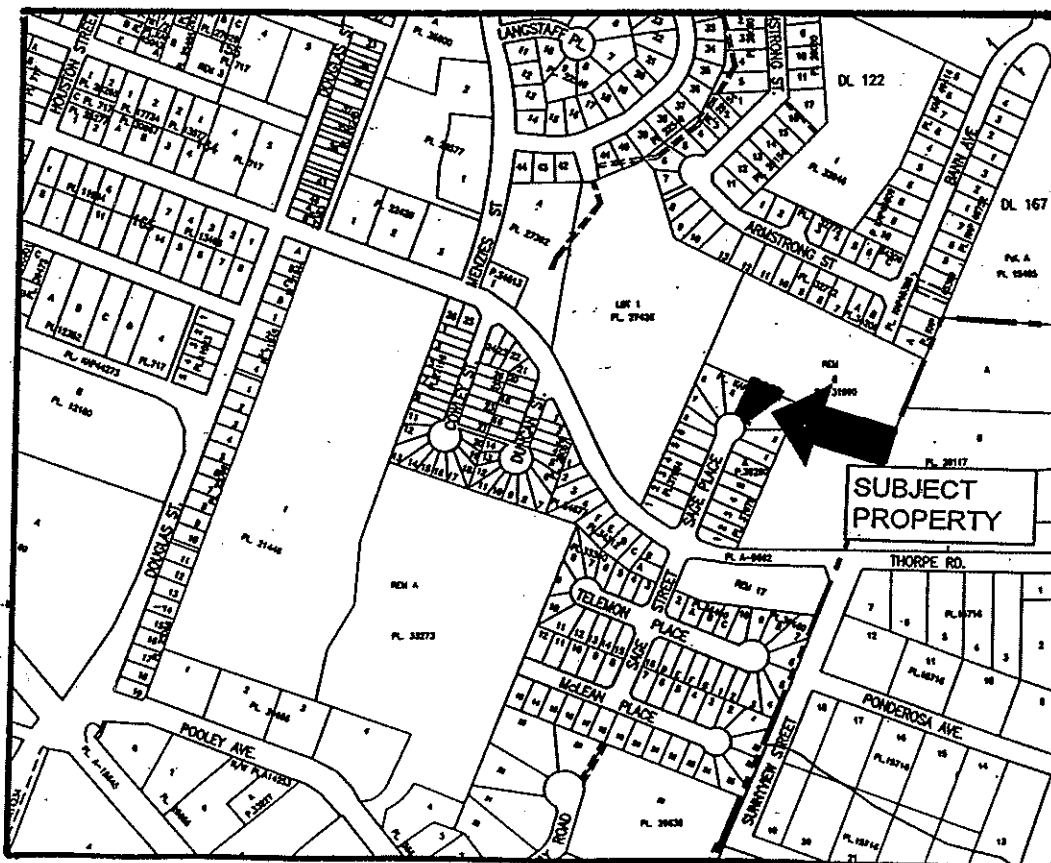
**PLANNING DEPARTMENT
FACT SHEET**

DEVELOPMENT VARIANCE PERMIT

DVP1995-09

Owner: Herbert & Mryna McCormack
Civic Address: 1974 Sage Place
Legal Description: Lot 4, District Lot 122, K.D.Y.D. , Plan KAP46900
OCP Designation: Existing Residential
Zoning Designation: R2 (Low Density Residential)
Lot Size: 736 square meters
Current Use: Residential / Accessory Structure
Relevant Information: The applicant wishes to vary Section 6.2.2(5) of the City of Merritt Zoning Bylaw No. 1530, 1995. The current setback for the siting of an accessory building from the side parcel line is 1.5 m. The applicant wishes to vary this side setback to .69 m. Please see the Planning Department report for an analysis of this application.

LOCATION MAP: SUBJECT PROPERTY



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PLANNING DEPARTMENT REPORT

DEVELOPMENT VARIANCE PERMIT

DVP1995-09

TO: Administrator
FROM: Planning Department
DATE: January 17, 1996

History of Application:

The Planning Department received the application on December 11, 1995. This application has been placed on Council's Agenda for their Regularly Scheduled meeting of January 23, 1996.

Relevant Information:

The property is located at 1975 Sage Place. Zoning for this property is R2 (Low Density Residential). The predominant surrounding land use is residential dwelling units.

The applicant wishes to vary Section 6.2.2(5) of the City of Merritt Zoning Bylaw No. 1530, 1995. The current setbacks for the siting of an accessory building from the side parcel line is 1.5 meters. The applicant wishes to vary this setback to .69 meters. The shed itself is 80 square feet, thus it did not require a building permit.

Agency Referrals:

This application did not require referral to Provincial agencies. Public notices were sent to property owners within a 100' radius of the property. Mrs. Hawes the neighbor directly affected by this variance expressed her approval of this variance. The planning department also received a letter from RND Developments whom stated that, " I wish to advise that I do not find the proposal offensive and as one of the owners of property immediately adjacent to the rear and somewhat affected, wish to not oppose the application." Should our department receive any further approvals or objections we will forward these at the time of the meeting.

PLANNING DEPARTMENT REPORT

DVP1995-09

Page 2

Planning Department Comments:

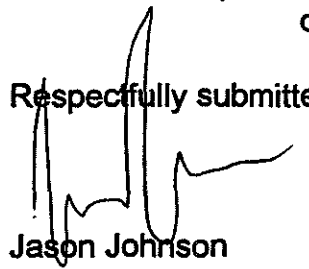
From a planning perspective our department would not support this application. However, previous Council decisions have set a precedent with respect to this situation and in light of the reaction from the adjacent property owners, the planning department supports this application with the one noted concern.

Currently this structure drains onto the adjacent property. In order to rectify this situation, the planning department recommends that approval of this development variance permit be contingent upon the applicant constructing eaves on this shed. The eaves will ensure that any run-off water be contained on the applicants property, thus having no effect on the adjacent property owner.

Planning Department Recommendation:

1. That Development Variance Application 1995-09 be approved by resolution subject to the following:
 - i.) That the property owners install eaves onto the storage shed which drain directly on their property.

Respectfully submitted,



Jason Johnson
Development Officer

CITY OF MERRITT

DEVELOPMENT VARIANCE PERMIT NO. DVP1995-09

AUTHORIZATION BY CITY COUNCIL, MEETING OF _____

1.0 LEGAL DESCRIPTION & CIVIC ADDRESS Lot 4, District Lot 122, Kamloops Division
Yale District, Plan KAP46900
1974 Sage Place

2.0 HOLDER & ADDRESS Herbert G. McCormack
Myrna A. McCormack
Box 647
Merritt, B.C.
V0K 2B0

3.0 CONDITIONS TO BE VARIED OR SUPPLEMENTED:

3.1 This permit varies Section 6.2.2.(5) of the City of Merritt
Zoning Bylaw No. 1530, 1995 to allow the following setback as per
the attached Schedule "A":

1) Side parcel Line setback of 0.69m.

See attached Schedule "A".

4.0 SPECIAL PROVISIONS:

4.1 _____

5.0 SECURITY REQUIRED: YES NO

DEVELOPMENT PERMIT

6.0 GENERAL NOTES:

- 6.1 This Development Permit is issued subject to compliance with all of the By-Laws of the City of Merritt applicable thereto, except as specifically varied or supplemented by this Permit.
- 6.2 This Permit applies to and only those lands within the City of Merritt described in 1.0 above, and any and all buildings, structures and other development thereon.
- 6.3 The lands described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
- 6.4 If the Holder of this Permit does not substantially commence any construction with respect to which the Permit was issued within two years after the date of issuance, the Permit shall lapse.
- 6.5 Where a Permit lapses, the City will return all security required less the cost of any works undertaken by the City or its agents.
- 6.6 This permit is not a building permit.

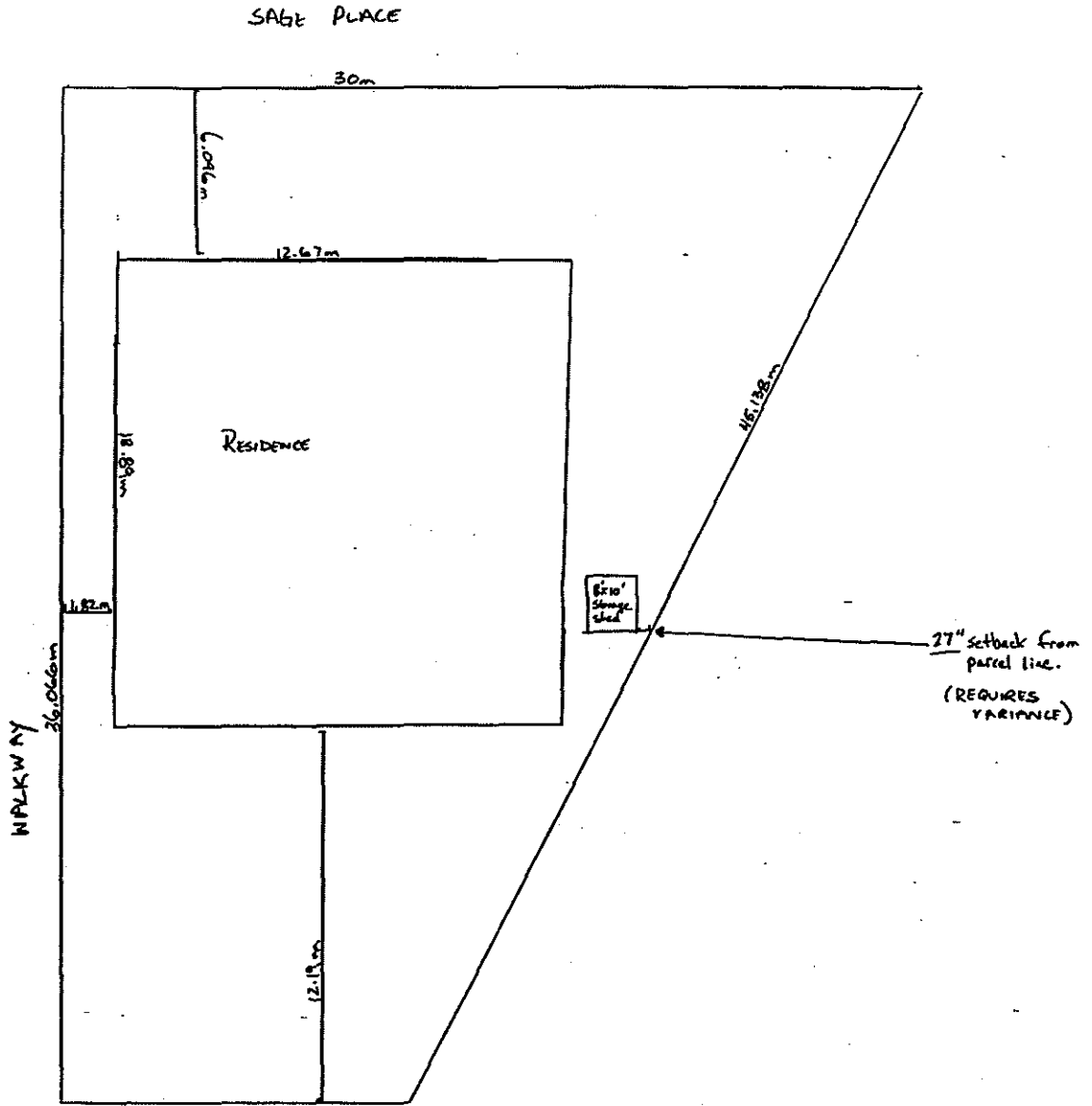
7.0 APPROVALS REQUIRED BY MINISTRY OF TRANSPORTATION AND HIGHWAYS:

YES NO

CITY OF MERRITT

DVP 1995-09

SCHEDULE "A"



1771 SAGE PLACE
LOT 4 PLAN KAP 46900 KDYD



APPROVED BY APPLICANT

Signature: *[Signature]*

Date:

99



CITY OF MERRITT

January 5, 1996

Dear Owner/Tenant,

2185 VOGHT STREET
P.O. Box 189
MERRITT, B.C. V0K 2B0
(604) 378-4224
FAX (604) 378-2600

PUBLIC NOTICE

RE: PROPOSED DEVELOPMENT VARIANCE PERMIT - DVP1995-09

The City of Merritt is considering issuing a Development Variance Permit for the property situated at:

1974 Sage Place

and legally described as:

Lot 4, District Lot 122, Kamloops Division
Yale District, Plan KAP46900

The purpose of the proposed Development Variance Permit is to vary Section 6.2.2.(5) of the City of Merritt Zoning Bylaw No. 1530, 1995. The current setback for the siting of an accessory building from the side parcel line is 1.5m. The applicant wishes to vary this setback to 27 inches or .69m which is the current location of the shed. Development shall be consistent with the attached Schedule "A".

A copy of the proposed permit is attached or copies are available for inspection at City Hall, 2185 Voght Street, Merritt, B.C. on regular working days between the hours of 8:30 AM and 4:30 PM from January 5, 1996 to January 17th, 1996.

If you have any comments pertaining to the permit please submit them in writing to the undersigned prior to 4:30 PM, January 17th, 1996, at Merritt City Hall.

Yours truly,


Jason Johnson
Development Officer

JJ/aac
Attachments

B:DVP9509.PUB

RND Development Ltd.
PO Box 22
Merritt, BC
V0K 2B0

January 11, 1996

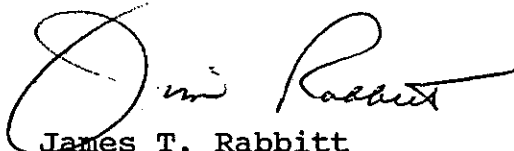
Development Officer
City of Merritt
PO Box 189
Merritt, BC
V0K 2B0

ATTENTION: Mr. Jason Johnson

RE: PROPOSED D.V. PERMIT 1995-09

Please be advised that I have reviewed the proposed variance. I wish to advise that I do not find the proposal offensive and as one of the owners of property immediately adjacent to the rear and somewhat affected, wish to not oppose the application.

Yours truly
RND DEVELOPMENT LTD.


James T. Rabbitt
President

c:\permit.rnd

CITY OF MERRITT
JAN 15 1996
RECEIVED

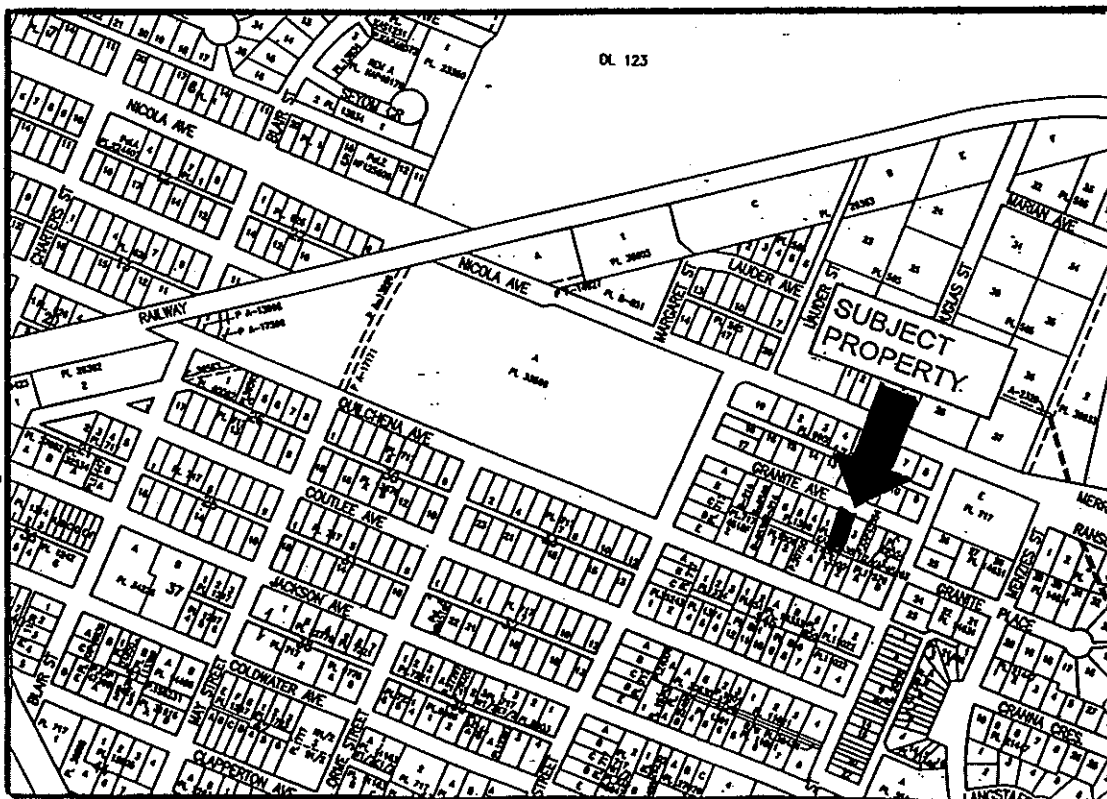
**PLANNING DEPARTMENT
FACT SHEET**

DEVELOPMENT VARIANCE PERMIT

DVP1995-10

Owner: Sant and Kulwant Mavi
Civic Address: 2680 Granite Ave.
Legal Description: Lot 2, District Lot 122, K.D.Y.D. , Plan KAP48035
OCP Designation: Existing Residential
Zoning Designation: R2 (Low Density Residential)
Lot Size: 638 square meters
Current Use: Residential/Accessory Structure
Relevant Information: The applicant wishes to vary Section 6.2.2(5) of the City of Merritt Zoning Bylaw No. 1530, 1995. The current setbacks for the siting of an accessory building from the side parcel line and rear parcel line are 1.5 m. The applicant wishes to vary the side setback to .89m and the rear setback to 1.22m. Please see the Planning Department report for an analysis of this application.

LOCATION MAP: SUBJECT PROPERTY



PLANNING DEPARTMENT REPORT

DEVELOPMENT VARIANCE PERMIT

DVP1995-10

TO: Administrator
FROM: Planning Department
DATE: January 17, 1996

History of Application:

The Planning Department received the application on December 15, 1995. This application has been placed on Council's Agenda for their Regularly Scheduled meeting of January 23, 1996.

Relevant Information:

The property is located at 2680 Granite Avenue. Zoning for this property is R2 (Low Density Residential). Surrounding land uses to this property include residential dwelling units and commercial properties across Granite Avenue.

The applicants shed has been constructed prior to applying for a building permit from the City. A building permit is required as the shed is over 100 square feet.

The applicant constructed the shed within the required setback for an accessory building. The applicant wishes to vary Section 6.2.2(5) (rear and side setbacks) of the City of Merritt Zoning Bylaw No. 1530, 1995. The current rear and side setbacks of an accessory building are 1.5 meters. The applicant wishes to vary the side setback to .89 meters and rear setback of 1.22 meters.

Agency Referrals:

This application did not require referral to Provincial agencies. Public notices were sent to property owners within a 100' radius of the property. Mrs. Tanda the neighbor directly affected by the application expressed her approval for the variance. The planning department has not received any other approvals or objections to the Public Notice. However, should we receive any objections we will forward this at the time of Council's Regularly Scheduled meeting.

PLANNING DEPARTMENT REPORT

DVP1995-10

Page 2

Planning Department Comments:

From a planning perspective our department would not support this application. However, previous Council decisions have set a precedent with respect to this situation and in light of the reaction from the adjacent property owners, the planning department supports this application with the one noted concern.

Currently this structure drains onto the adjacent property. In order to rectify this situation, the planning department recommends that approval of this development variance permit be contingent upon the applicant constructing eaves on this shed. The eaves will ensure that any run-off water be contained on the applicants property, thus having no effect on the adjacent property owner.

The applicant must also apply for a building permit from the City, as outlined earlier in the report.

Planning Department Recommendation:

1. That Development Variance Application 1995-10 be approved by resolution subject to the following:
 - i.) That the applicant apply to the City for a building permit.
 - ii.) That the property owners install eaves onto the storage shed which drain directly on their property.

Respectfully submitted,


Jason Johnson
Development Officer

CITY OF MERRITT

DEVELOPMENT VARIANCE PERMIT NO. DVP1995-10

AUTHORIZATION BY CITY COUNCIL, MEETING OF _____

1.0 LEGAL DESCRIPTION Lot 2, District Lot 122, Kamloops
CIVIC ADDRESS Division Yale District, Plan KAP48035
2680 Granite Avenue

2.0 HOLDER & ADDRESS Sant S. Mavi
Kulwant K. Mavi
Box 1785
Merritt, B.C.
VOK 2B0

3.0 CONDITIONS TO BE VARIED OR SUPPLEMENTED:

3.1 This permit varies Section 6.2.2.(5) of City of Merritt
Zoning Bylaw No. 1530, 1995 to allow the following setback as per
the attached Schedule "A":
1) Side Parcel Line setback of 0.89m
2) Rear Parcel Line setback of 1.22m.

See attached Schedule "A".

4.0 SPECIAL PROVISIONS:

4.1 _____

5.0 SECURITY REQUIRED: _____ YES _____ X NO

DEVELOPMENT PERMIT

6.0 GENERAL NOTES:

6.1 This Development Permit is issued subject to compliance with all of the By-Laws of the City of Merritt applicable thereto, except as specifically varied or supplemented by this Permit.

6.2 This Permit applies to and only those lands within the City of Merritt described in 1.0 above, and any and all buildings, structures and other development thereon.

6.3 The lands described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

6.4 If the Holder of this Permit does not substantially commence any construction with respect to which the Permit was issued within two years after the date of issuance, the Permit shall lapse.

6.5 Where a Permit lapses, the City will return all security required less the cost of any works undertaken by the City or its agents.

6.6 This permit is not a building permit.

7.0 APPROVALS REQUIRED BY MINISTRY OF TRANSPORTATION AND HIGHWAYS:

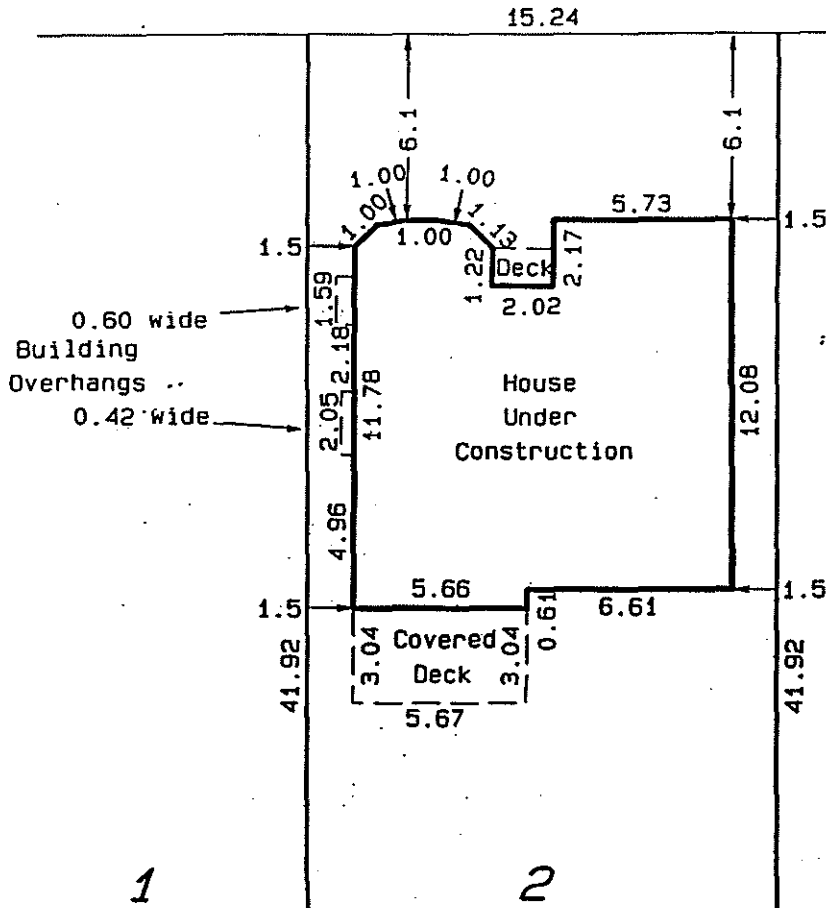
_____ YES X NO

CITY OF MERRITT

DVP1995-10

SCHEDULE "A"

GRANITE AVENUE

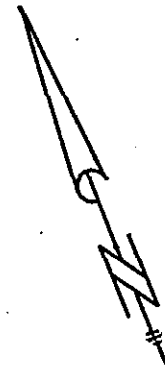


APPROVED BY APPLICANT

Signature: Dant May

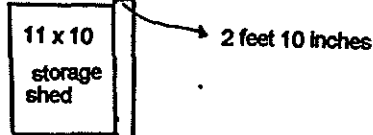
Date: Dec 15th-95

File: DVP95-10



PLAN

KAP48035



15.21 4 feet

A
PLAN
20750

1
PLAN

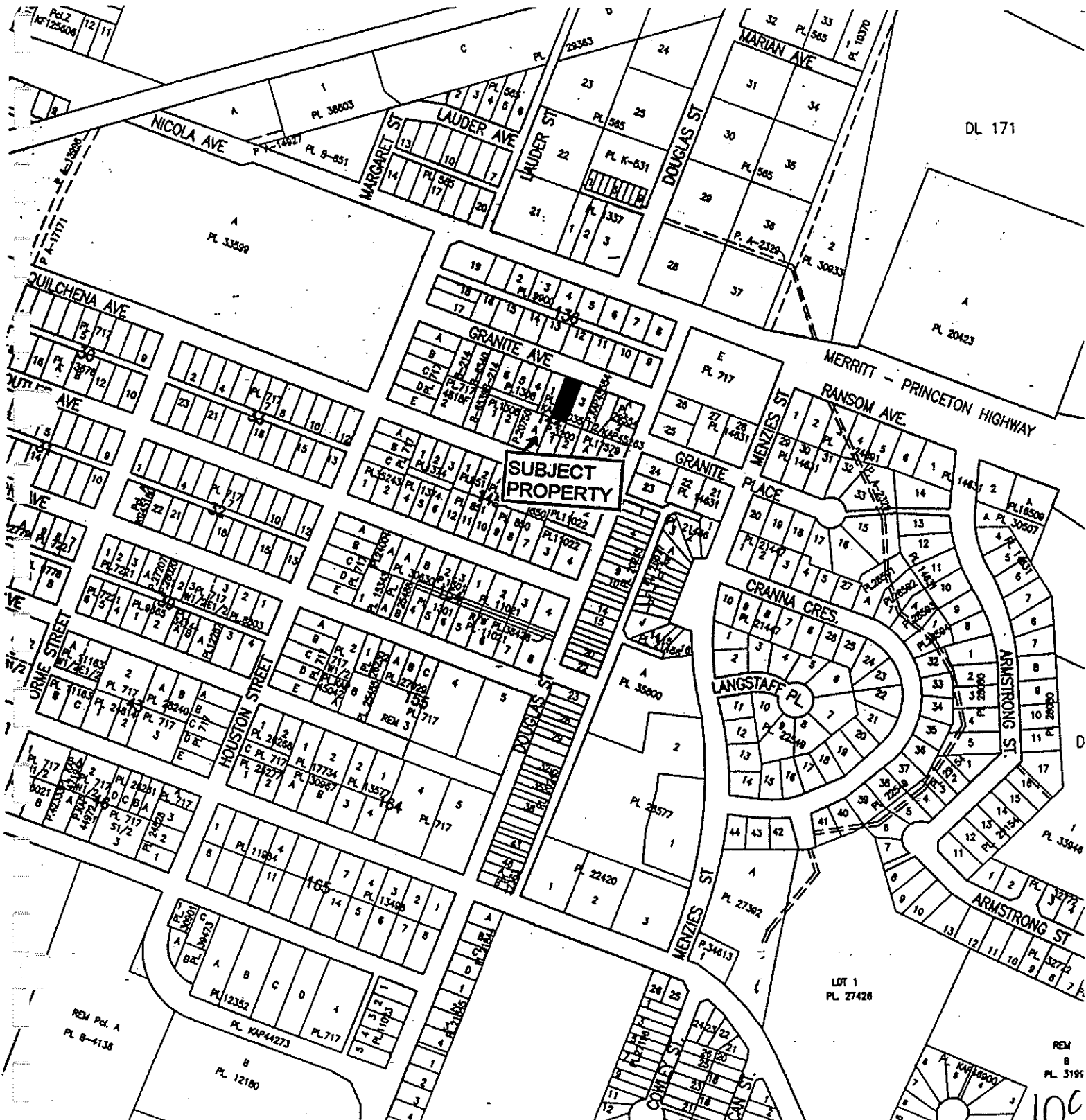
2
32001

108

CITY OF MERRITT

DVP1995-10

SUBJECT PROPERTY



DL 171

SUBJECT PROPERTY

LOT 1
PL 27428

REM
B
PL 3196

106



CITY OF MERRITT

January 5, 1996

2185 VOGHT STREET
P.O. Box 189
MERRITT, B.C. V0K 2B0
(604) 378-4224
FAX (604) 378-2600

Dear Owner/Tenant,

PUBLIC NOTICE

RE: PROPOSED DEVELOPMENT VARIANCE PERMIT - DVP1995-10

The City of Merritt is considering issuing a Development Variance Permit for the property situated at:

2680 Granite Avenue

and legally described as:

Lot 2, District Lot 122, Kamloops
Division Yale District, Plan KAP48035

The purpose of the proposed Development Variance Permit is to vary Section 6.2.2.(5) of the City of Merritt Zoning Bylaw No. 1530, 1995. The current setbacks for the siting of an accessory building from the side parcel line and rear parcel line are 1.5m. The applicant wishes to vary the side setback to 89m and the rear setback to 1.22m which is the current location of the shed. Development shall be consistent with the attached Schedule "A".

A copy of the proposed permit is attached or copies are available for inspection at City Hall, 2185 Voght Street, Merritt, B.C. on regular working days between the hours of 8:30 AM and 4:30 PM from January 5, 1996 to January 17th, 1996.

If you have any comments pertaining to the permit please submit them in writing to the undersigned prior to 4:30 PM, January 17th, 1996 at Merritt City Hall.

Yours truly,


Jason Johnson
Development Officer

JJ/aac
Attachments

B:DVP9510.PUB

MEMORANDUM

Agenda

TO: T.C. Day, Administrator

FROM: S. Gill, Treasurer

DATE: January 17, 1996

SUBJECT: 1996 Provisional Budget

In finalizing the 1996 Provisional Budget an over recorded revenue item has been highlighted. When the Collettsville restructure grant was recorded in 1996, the full grant was recorded as revenue, even though \$19,700 was already committed in 1995. Accordingly the 1996 revenue was overstated by \$19,700. However, since the Provisional Budget Meeting, we have received a report from B.C. Assessment Authority indicating a greater amount of new construction than previously indicated. This report is still being adjusted and won't be finalized until February 1996.

RECOMMENDATION:

The Provisional Budget revenue be adjusted by \$19,700 and that it be balanced from surplus. Further that the surplus amount be further adjusted at annual budget time to reflect the revenue related to new growth, estimated to be approximately \$30,000.

S. Gill

S. Gill,
Treasurer

SSG/la

Agenda

NICOLA VALLEY AQUATIC CENTRE ADMISSION STATISTICS

MONTH	1993	1994	1995
JANUARY	_____	9,838	7,669
FEBRUARY	_____	8,909	8,556
MARCH	_____	10,955	7,778
APRIL	_____	8,292	6,109
MAY	_____	7,522	6,975
JUNE	_____	9,139	6,750
JULY	_____	10,963	9,300
AUGUST	_____	9,175	8,525
SEPTEMBER	8,488 (18 DAYS)	2,015 (10 DAYS)	1,972 (12 DAYS)
OCTOBER	10,384	6,006	5,848
NOVEMBER	9,119	6,753	6,976
DECEMBER	6,465	5,277	4,699
TOTAL	34,456	94,844	79,778

1995 ATTENDANCE STATISTICS

MONTH	BUDGETED DAILY ATTENDANCE GOAL	ACTUAL DAILY ATTENDANCE	BUDGETED MONTHLY ATTENDANCE GOAL	MONTHLY ACTUAL ATTENDANCE	ACCUMULATIVE VARIATION
JANUARY	275	247.5	8,525	7,669	(856)
FEBRUARY	275	305.6	7,700	8,556	0
MARCH	250	250.9	7,750	7,778	28
APRIL	250	203.6	7,500	6,109	(1,363)
MAY	225	189.1	6,975	5,861	(2,477)
JUNE	225	227.9	6,750	6,838	(2,389)
JULY	300	323.7	9,300	9,387	(2,302)
AUGUST	275	260.8	8,525	8,085	(2,742)
SEPTEMBER	200	164.3	2,400	1,972	(3,170)
OCTOBER	225	188.6	6,975	5,848	(4,297)
NOVEMBER	225	232.5	6,750	6,976	(4071)
DECEMBER	175	156.6	5,250	4,699	(4,622)
TOTAL	244	230.6	84,400	79,778	(4,622)

1995 ATTENDANCE STATISTICS

THOMPSON-NICOLA REGIONAL DISTRICT

Agenda

BUILDING DEPARTMENT STATISTICS

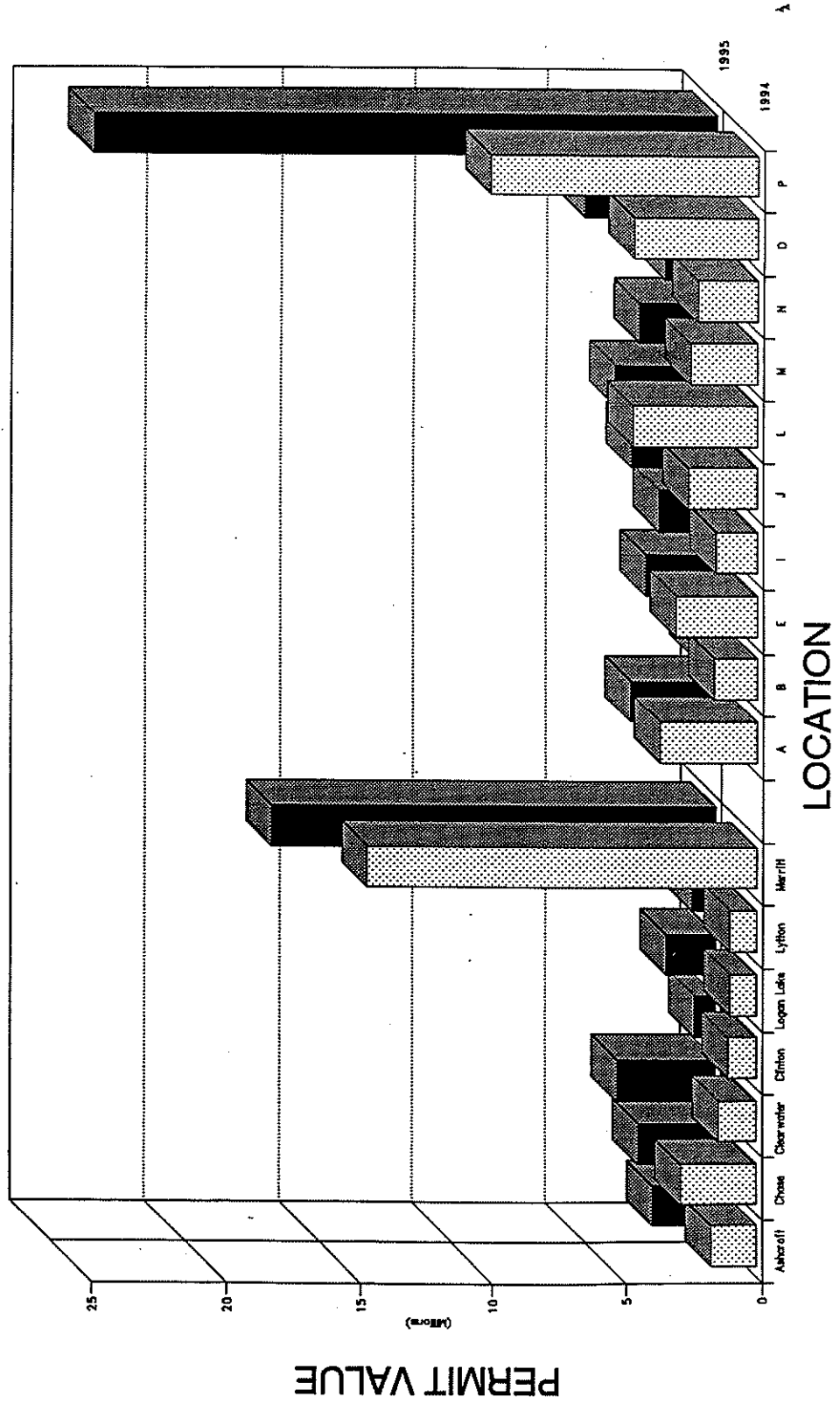
DECEMBER 1995

RECAP:

Location	Permits Issued In Month				Permits Issued For Twelve Months			
	December 1995		December 1994		To December 31, 1995		To December 31, 1994	
	#	Value	#	Value	#	Value	#	Value
Ashcroft	0	0	1	10,000	25	2,276,476	36	1,646,402
Chase	4	160,000	1	1,000	64	2,811,702	61	2,790,009
Clearwater	1	109,920	0	0	51	3,597,470	28	1,383,030
Clinton	1	262,130	1	2,500	23	766,050	23	1,025,341
Logan Lake	1	8,000	1	0	54	1,831,380	32	972,640
Lytton	1	100,000	0	0	14	847,607	14	983,300
Merritt	5	364,600	0	0	99	16,631,450	169	14,546,600
A	2	5,000	3	7,000	78	3,142,348	84	3,574,603
B	0	0	1	6,000	14	745,080	12	1,555,100
E	0	0	5	261,600	69	2,586,180	87	3,009,446
I	2	136,400	2	128,600	40	2,108,886	26	1,514,199
J	0	0	1	0	65	3,106,547	61	2,496,522
L	1	52,000	0	0	67	3,746,060	85	4,589,588
M	0	0	0	0	38	2,842,231	47	2,462,835
N	1	85,000	2	69,000	33	1,900,319	34	2,195,564
O	1	159,440	2	5,000	124	4,888,640	133	4,585,853
P	6	406,785	2	75,500	135	23,256,087	151	9,985,573
Total	26	1,849,275	22	566,200	993	77,084,513	1,083	59,316,605

TNRD - Building Permit Values

TWELVE MONTHS ENDED DECEMBER 31, 1995



**THOMPSON-NICOLA REGIONAL DISTRICT
BUILDING STATISTICS FOR TWELVE MONTHS ENDED DECEMBER 31, 1995**

Location	Single Family Dwell		Single Wide Mobile		Multiple Family Dw		Commercial		Gov't/Institutional		Industrial		Miscellaneous		Renovation		Additions		Wood Heaters		Renewal		Totals	
	#	Value	#	Value	#	Value	#	Value	#	Value	#	Value	#	Value	#	Value	#	Value	#	Value	#	Value	#	Value
CARIBOO AREA:																								
Aahroft	4	388,440	0	0	2	1,066,680	0	0	0	0	0	0	10	39,785	1	1,200	5	145,171	0	0	3	3,000	25	2,276,476
E	21	1,619,920	3	115,680	0	0	1	60,000	0	0	1	40,000	15	227,440	1	4,000	9	189,440	5	12,600	13	17,000	69	2,566,180
I	16	1,470,066	5	139,180	0	0	0	0	0	0	1	200,000	10	235,400	1	3,000	2	8,240	2	5,000	3	48,000	40	2,106,666
Clinton	3	339,060	1	48,000	0	0	1	50,000	0	0	1	262,130	9	41,790	1	1,850	3	20,700	1	2,500	3	0	23	789,050
Lytton	3	494,830	0	0	0	0	3	100,000	1	100,000	0	0	0	0	1	40,000	3	105,177	3	7,500	0	0	14	847,607
Total	47	4,612,436	9	303,680	2	1,066,680	5	210,000	1	100,000	3	502,130	44	644,415	5	50,050	22	488,726	11	27,500	22	68,000	171	6,585,199
KAMLOOPS AREA:																								
Logan Lake	13	1,529,040	2	77,000	0	0	2	17,800	0	0	0	0	25	156,580	2	22,600	1	15,680	5	13,000	4	0	54	1,831,360
L	23	2,529,610	9	326,010	0	0	4	422,000	0	0	0	0	13	140,100	1	13,000	8	398,840	3	7,500	6	0	67	3,746,000
P	45	5,190,415	8	251,060	4	4,787,880	11	10,545,000	0	0	2	71,707	26	1,928,965	4	113,000	10	340,040	12	30,000	13	0	135	23,259,067
Chase	17	1,668,280	9	358,000	0	0	5	314,792	0	0	0	0	22	350,180	0	0	7	120,000	1	2,500	3	0	64	2,811,702
J	22	2,439,250	7	210,337	0	0	2	91,000	0	0	0	0	12	97,040	2	85,000	8	198,920	2	5,000	10	0	65	3,108,547
Total	120	13,353,595	35	1,222,427	4	4,787,880	24	11,390,362	0	0	2	71,707	98	2,670,825	9	213,500	34	983,480	23	58,000	38	0	385	34,751,770
NICOLA VALLEY:																								
M	19	1,661,025	1	13,840	0	0	1	698,900	0	0	0	0	3	73,000	1	90,000	7	137,666	0	0	6	0	38	2,642,231
N	14	1,234,799	5	116,900	0	0	1	42,000	0	0	0	0	6	418,280	2	10,000	3	73,340	2	5,000	0	0	33	1,900,319
Meritt	17	2,418,550	1	18,000	6	1,818,915	10	3,208,000	2	6,790,536	2	525,000	32	1,408,185	5	47,749	17	358,015	1	2,500	6	44,000	99	16,631,450
Total	50	5,614,374	7	145,540	6	1,818,915	12	3,913,900	2	6,790,536	2	525,000	41	1,897,465	8	147,749	27	599,021	3	7,500	12	44,000	170	21,374,000
NORTH THOMPSON:																								
A	19	2,143,906	3	134,760	0	0	4	397,000	0	0	1	140,000	11	66,000	1	15,000	10	200,660	19	45,000	10	0	78	3,142,348
Cleanwater	19	2,343,790	4	175,590	0	0	2	859,000	0	0	0	0	11	55,120	2	48,200	4	97,600	7	20,000	2	0	51	3,597,470
B	5	295,500	1	26,880	0	0	4	420,000	0	0	0	0	1	0	2	31,700	0	0	0	0	1	0	14	745,060
O	35	3,519,660	10	348,280	0	0	3	207,900	1	16,000	3	212,600	23	189,000	4	9,200	11	344,520	12	30,000	22	10,500	124	4,885,640
Total	78	8,273,856	18	689,490	0	0	13	1,883,900	1	16,000	4	352,600	48	310,120	9	102,100	25	642,980	38	95,000	35	10,500	267	12,373,538
GRAND TOTAL	295	31,754,263	69	2,357,507	12	8,305,675	64	17,398,162	4	6,006,536	11	1,451,437	229	5,422,825	31	513,399	108	2,664,209	75	188,000	105	122,500	993	77,084,513
PREVIOUS YEAR:	390	34,829,154	72	2,266,226	7	1,720,000	51	9,328,520	7	675,000	13	2,665,000	135	3,189,699	51	1,206,671	226	3,135,278	68	216,400	43	80,790	1,063	59,316,605
Change %	(95)	(3,074,891)	(3)	89,282	5	6,585,675	3	6,069,642	(3)	6,231,536	(2)	(1,213,563)	64	2,233,156	(20)	(693,172)	(118)	(471,067)	(13)	(30,400)	62	41,710	(90)	17,767,908
		-9%		4%		383%		67%		92%		-46%		70%		-57%		-15%		-14%		52%		30%

711

**THOMPSON-NICOLA REGIONAL DISTRICT
BUILDING STATISTICS FOR DECEMBER 1995**

Location	Single Family Dwelling		Single Wide Mobile		Multiple Family Dwell		Commercial		Gov/Institutional		Industrial		Miscellaneous		Renovation		Additions		Wood Heaters		Renewal		Totals			
	#	Value	#	Value	#	Value	#	Value	#	Value	#	Value	#	Value	#	Value	#	Value	#	Value	#	Value	#	Value		
CARIBOO AREA:																										
Ashcroft	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
E	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
I	1	122,400	0	0	0	0	0	0	0	0	0	0	1	14,000	0	0	0	0	0	0	0	0	0	2	136,400	
Clinton	0	0	0	0	0	0	0	0	0	0	1	262,130	0	0	0	0	0	0	0	0	0	0	0	1	262,130	
Lytton	0	0	0	0	0	0	0	0	1	100,000	0	0	0	0	0	0	0	0	0	0	0	0	0	1	100,000	
Total	1	122,400	0	0	0	0	0	0	1	100,000	1	262,130	1	14,000	0	0	0	0	0	0	0	0	0	4	498,530	
KAMLOOPS AREA:																										
Logan Lake	0	0	0	0	0	0	0	0	0	0	0	0	1	8,000	0	0	0	0	0	0	0	0	0	1	8,000	
L	1	52,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	52,000	
P	2	337,800	0	0	0	0	1	26,000	0	0	0	0	3	42,985	0	0	0	0	0	0	0	0	0	6	406,785	
Chase	0	0	4	160,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	4	160,000	
J	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Total	3	389,800	4	160,000	0	0	1	26,000	0	0	0	0	4	50,985	0	0	0	0	0	0	0	0	0	12	626,785	
NICOLA VALLEY:																										
M	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
N	1	85,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	85,000	
Merritt	1	185,000	0	0	0	0	0	0	0	0	0	0	1	199,600	0	0	0	0	0	0	0	0	3	0	5	384,600
Total	2	250,000	0	0	0	0	0	0	0	0	0	0	1	199,600	0	0	0	0	0	0	0	0	3	0	6	449,600
NORTH THOMPSON:																										
A	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	5,000	0	0	2	5,000	
Clearwater	1	109,920	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	109,920	
B	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
O	1	159,440	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	159,440	
Total	2	269,360	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	5,000	0	0	4	274,360	
GRAND TOTAL	8	1,031,580	4	160,000	0	0	1	26,000	1	100,000	1	262,130	6	264,585	0	0	0	0	2	5,000	3	0	26	1,849,275		
PREVIOUS YEAR:	4	282,600	2	36,600	0	0	0	0	0	0	1	10,000	2	7,000	0	0	3	215,000	6	15,000	4	0	22	566,200		
Change	4	748,980	2	123,400	0	0	1	26,000	1	100,000	0	252,130	4	257,585	0	0	(3)	(215,000)	(4)	(10,000)	(1)	0	4	1,283,075		
%		265%		337%			ERR	ERR			ERR	2521%		3680%			ERR	-100%		(-67%)			ERR	227%		

Agenda

**CITY OF MERRITT
MEMORANDUM**

TO:	T.C. Day, Administrator
FROM:	Y.J. Porada, Clerk
SUBJECT:	Mamette Avenue Road Closure
DATE:	January 17th, 1996

Council recently gave three readings to "City of Merritt Mamette Avenue Stopping Up and Closing Bylaw No. 1522, 1995", and I have since completed the advertisement requirements, as well as the referral process. All parties involved have replied and consented to said road closure.

BC Tel and BC Hydro provided consent for the road closure, but have noted two financial impacts on the City because of relocation of their utilities, should construction occur to Phase III (full structural connection of arena to aquatic centre).

BC Hydro has advised the relocation of its utility would mean underground wiring due to the current line (serving the curling rink and arena) not allowing for construction of any kind underneath said line. I have been advised relocation of this line is a significant cost, especially as construction may not occur for at least eight to ten years. The BC Tel utility is located on the southeast end of the aquatic centre property and therefore should not affect construction of Phase III.

RECOMMENDATION:

1. That City of Merritt Council recognize that any financial costs involved with utility relocations as a result of future construction will have to be considered, and that said calculations be included in the Phase III budget costs.
2. That Council authorize Administration to continue with the Mamette Avenue Road Closure process.

Respectfully submitted,



Y.J. Porada, Clerk

MEMORANDUM

TO: T.C.Day, Administrator
FROM: S. Gill, Treasurer
DATE: January 19, 1996
SUBJECT: Bank Account at the CIBC

We are in the process of transferring the funds from the Coldwater Improvement District (C.I.D.) to the City. Accordingly we require a motion of Council to transfer the funds and set up signing authority.

Recommendation:

The City transfer the signing authority of funds, related to Collettsville, from the C.I.D. to the City. Further that the signing individuals for this new account be the same as those at the Royal Bank.



S.S. Gill,
Treasurer

SSG/la

CITY OF MERRITT

BYLAW NO.1532

A BYLAW TO AMEND THOMPSON-NICOLA REGIONAL DISTRICT NICOLA VALLEY OFFICIAL SETTLEMENT PLAN BYLAW NO. 939, 1985.

WHEREAS, the Thompson-Nicola Regional District has adopted a "Nicola Valley Official Settlement Plan Bylaw No. 939, 1985".

AND WHEREAS, the City of Merritt has extended its boundaries, being "Collettsville and Other Areas" west, east and north of the City, and said areas were incorporated into the City of Merritt Supplementary Letters Patent on November 16th, 1995;

AND WHEREAS, pursuant to the City of Merritt Supplementary Letters patent dated November 16th, 1995, Council has the authority and finds it desirable to amend the Thompson-Nicola Regional District "Nicola Valley Official Settlement Plan Bylaw No. 939, 1985";

NOW THEREFORE, the Council of the City of Merritt in open meeting assembled, hereby enacts as follows:

1. That this bylaw shall be cited as "**CITY OF MERRITT OFFICIAL COMMUNITY PLAN AMENDMENT (No.1) BYLAW NO. 1532, 1995**".
2. That the Thompson-Nicola Regional District Nicola Valley Official Settlement Plan Bylaw No. 939, 1985 is hereby AMENDED by changing the land use designation on District Lot 3638, Kamloops Division Yale District, except (1) plans 37177 and 43275, & (2) part lying north of Plan 43275 as shown shaded on Schedule "A", attached to and forming part of this bylaw, from Rural Resource to Urban Residential.
3. That the Thompson-Nicola Regional District Nicola Valley Official Settlement Plan Map be AMENDED to depict the change.

CITY OF MERRITT
BYLAW NO.1532
Page 2 - Cont'd.

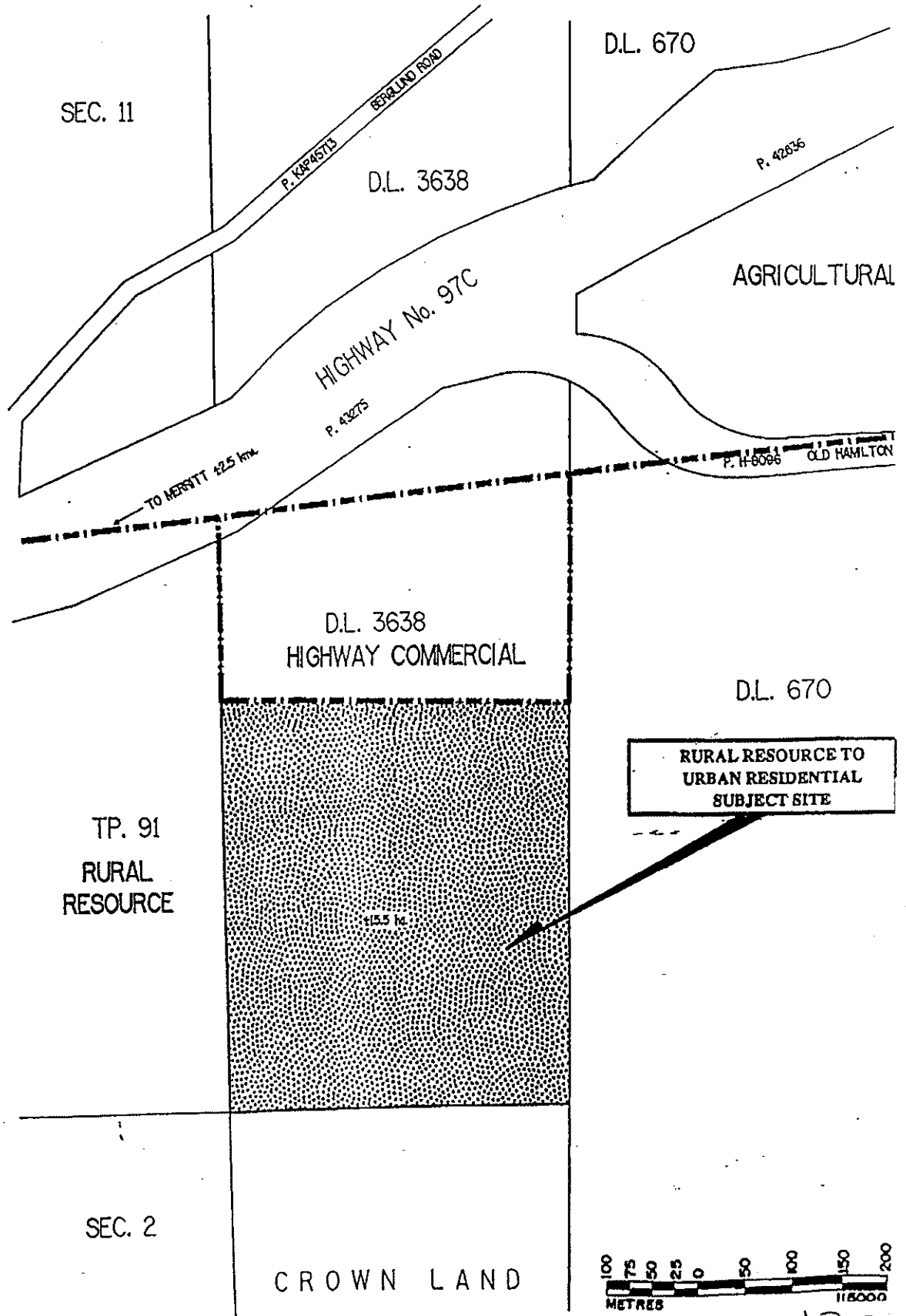
READ A FIRST TIME THIS	5th	day of	December	1995
READ A SECOND TIME THIS	5th	day of	December	1995
PUBLIC HEARING HELD THIS	9th	day of	January	1996
READ A THIRD TIME THIS	9th	day of	January	1996

ADOPTED THIS _____ **day of** _____ **1996.**

C.R. Norgaard, MAYOR

Y.J. Porada, CLERK

CITY OF MERRITT
BYLAW NO. 1532
SCHEDULE "A"



CITY OF MERRITT

BYLAW NO. 1533

**A BYLAW TO AMEND THOMPSON-NICOLA REGIONAL DISTRICT
ZONING BYLAW NO. 940, 1985.**

WHEREAS, the Thompson-Nicola Regional District has adopted a "Zoning Bylaw No. 940, 1985";

AND WHEREAS, the City of Merritt has extended its boundaries, being "Collettsville and Other Areas" west, east and north of the City, and said areas were incorporated into the City of Merritt Supplementary Letters patent on November 16th, 1995;

AND WHEREAS, pursuant to the City of Merritt Supplementary Letters patent dated November 16th, 1995, Council has the authority, and finds it desirable to amend the Thompson-Nicola Regional District "Zoning Bylaw No. 940, 1985";

NOW THEREFORE the Council of the City of Merritt in open meeting assembled, enacts as follows:

1. That this bylaw shall be cited as "**CITY OF MERRITT ZONING AMENDMENT (No.1) BYLAW NO. 1533, 1995**".
2. That the Thompson-Nicola Regional District Zoning Bylaw No. 940, 1985 is hereby **AMENDED** by changing the zoning on District Lot 3638, Kamloops Division Yale District, except (1) plans 37177 and 43275, & (2) part lying north of Plan 43275 as shown shaded on Schedule "A", attached to and forming part of this bylaw, from RL-1 (Rural Resource) zone to R-1 (Urban Residential) zone.
3. That the Thompson-Nicola Regional District Zoning Bylaw Map be **AMENDED** to depict the change.

**CITY OF MERRITT
BYLAW NO. 1533
Page 2**

READ A FIRST TIME THIS	5th	day of	December	1995
READ A SECOND TIME THIS	5th	day of	December	1995
PUBLIC HEARING HELD THIS	9th	day of	January	1996
READ A THIRD TIME THIS	9th	day of	January	1996

RECEIVED MINISTRY OF TRANSPORTATION AND HIGHWAYS APPROVAL THIS
12th day of January 1996

ADOPTED THIS day of 1996.

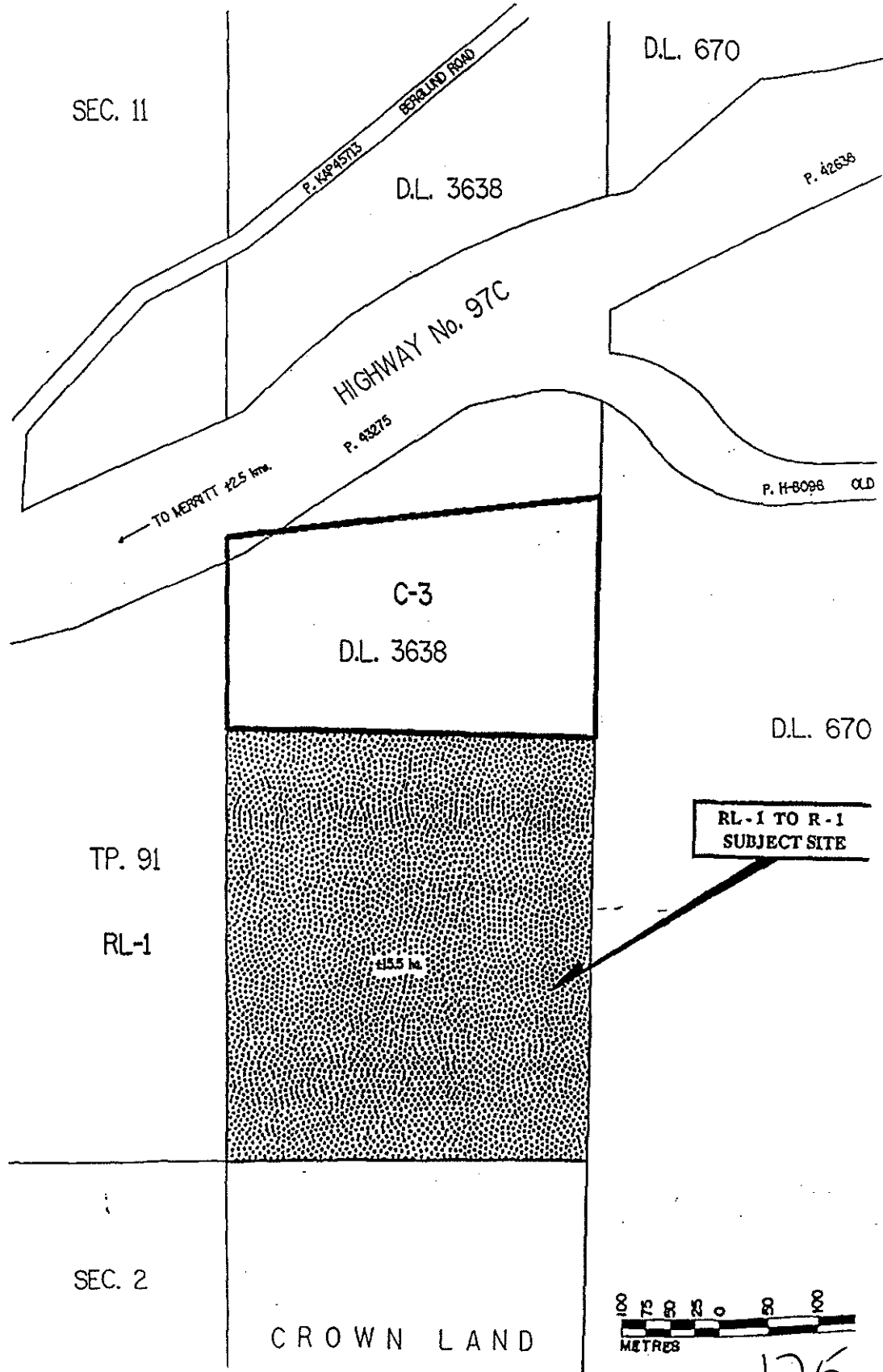
C.R. Norgaard, MAYOR

Y.J. Porada, CLERK

CITY OF MERRITT

BYLAW NO. 1533

SCHEDULE "A"



RL-1 TO R-1
SUBJECT SITE

0 2 4 6 8 10
METRES

125

CITY OF MERRITT
BYLAW NO. 1537

**A BYLAW TO AMEND CITY OF MERRITT OFFICIAL COMMUNITY PLAN
BYLAW NO. 1460, 1994.**

WHEREAS the Council of the City of Merritt has adopted an Official Community Plan pursuant to Section 944 of the *Municipal Act (RSBC 1979)*;

AND WHEREAS the Council of the City of Merritt wishes to amend the City of Merritt Official Community Plan;

AND WHEREAS the Council of the City of Merritt has examined the proposed amendment in conjunction with its most recent capital expenditure program under Section 266 of the Municipal Act, and any waste management plan or economic strategy plan that is applicable in the municipality to ensure consistency between them;

AND WHEREAS the Council of the City of Merritt has held a Public Hearing on the proposed amendment to the Official Community Plan.

NOW THEREFORE the Council of the City of Merritt in open meeting assembled, hereby enacts as follows:

1. That this bylaw shall be cited as **"CITY OF MERRITT OFFICIAL COMMUNITY PLAN AMENDMENT BYLAW NO. 1537, 1995"**.
2. That the City of Merritt Official Community Plan Bylaw No. 1460, 1994 is hereby **AMENDED** as follows:
 - a) That Schedule "C" of City of Merritt Official Community Plan Bylaw No. 1460, 1994 is amended by:
 - i) **ADDING Schedules "A" and "B" Development Permit Guidelines attached to and forming part of this bylaw, thereto.**
3. That Schedules "A" and "B" Development Permit Guidelines of this bylaw are **ADDED** to City of Merritt Official Community Plan Bylaw No. 1460, 1994, as part of Schedule "C".

CITY OF MERRITT

BYLAW NO. 1537

SCHEDULE "A"

1. Legal Description

District Lot 3638, Kamloops Division Yale District

- 1) Plans 37177 and 43275 &
- 2) That Part lying North of Plan 43275
Hamilton Hill road

2. Basis For Designation

Designate as a development permit area pursuant to Section 945 (4)(b) (Protection of Development From Hazardous Conditions) and Section 945 (4)(e) (Form and Character of Commercial Development) of the Municipal Act.

3. Justification

This site is located at the entrance to Merritt. The location and commercial uses will impact both residential development and the adjacent lands within the Agricultural Land Reserve. Environmental constraints exist on the property with respect to ground water and storm sewer.

A. Protection of Development From Hazardous Conditions

This property is located in an area which is topographically varied and presents geotechnical and hydrological concerns. Development will be subjected to these constraints and the objective of the designation is to protect the site from these hazardous conditions.

B. Form and Character of Commercial Development

The objective of designating this site is to ensure that buildings, signs, fences, parking and lighting are designed to convey a favourable impression of Merritt and the development does not negatively impact on the adjacent major transportation facilities.

.3 Geotechnical

All Geotechnical reports to be completed by a professional engineer competent in Geotechnical investigation. Development Plans shall be provided to Council which will include the following:

- a. Geotechnical reports which stipulate the requirements for constructing roadways and parking lots to ensure these areas are adequate for their intended use. These reports will define materials to be used and methods to be used to ensure the road and parking lots meet City Standards.
- b. A full detailed topographical evaluation of the stability of the subject property and surrounding properties. The extent of investigation of surrounding properties shall be the responsibility of the applicants engineer and the report shall be originally signed and sealed by the engineer.

.4 Drainage

All Drainage reports to be completed by a professional engineer competent in storm sewer design. Development Plans shall be provided to Council which will include the following:

- a. Storm Sewer reports which identifies how all on-site drainage will be contained on-site.
- b. Building design must tie all roof drainage into the main storm sewer system.
- c. The effect of any new storm drainage volumes at the point of discharge or catchment area. If the system enters a Ministry of Transportation and Highways drainage catchment area the approval of the Ministry of Transportation and Highways will be required before the Development Permit is approved by Council.
- d. How the proposal will maintain and connect existing natural drainage courses to the main storm sewer system and that no upstream effects occur as a result of any alteration of existing natural drainage courses. All existing drainage courses must be reviewed and appropriate measures taken to ensure they are not impeded in any way.

4. Guidelines

- .1 Access points should be located to allow separate ingress and egress to parking areas for the following:
1. Car and small truck traffic.
 2. Commercial Transport Vehicles, Recreational Vehicles and Buses.

The access for vehicles listed in No. 2 shall provide for proper and full turning radius to allow safe turning and stacking.

All access intersections shall be designed to collector intersection standards as per City of Merritt Subdivision and Development Servicing Bylaw No. 1187. Collector Standards shall be a minimum only and further design beyond these requirements may be a necessity.

- .2 Parking shall be separated so as to provide adequate parking for the following:
1. Cars and small trucks.
 2. Commercial Transport Vehicles, Recreational Vehicles, Buses.

Parking areas shall be designed to accommodate safe pedestrian movement within the parking areas.

Parking areas for Commercial Transport Vehicles, Recreational Vehicles and Buses shall provide pedestrians buffered walkways within this parking area to minimize the interaction between these large vehicles and pedestrians.

A landscaped strip shall be provided where parking abuts a roadway.

Parking will be designed to facilitate on site traffic circulation. No off-site parking shall be permitted and this condition shall form part of the Development Permit.

.5 Hydrological

All Hydrological reports to be completed by a professional engineer competent in Hydrological investigation. Development Plans shall be provided to the City which will include the following:

1. A report outlining the ground water and surface water characteristics of the subject property and surrounding properties. This report shall identify any intervention required or development constraints which may impede or affect development of the subject site. The report shall be detailed and comprehensive so as to guide the development potential of the property.
2. Identify all hydrological constraints of the subject property. The report will go so far as to identify areas which no building can occur if such areas exist.
3. All potential building sites must be reviewed individually to identify site specific constraints.

.6 Form and Character

Building form and massing should adhere to the following guidelines:

- a. Diversity should be provided in building heights.
- b. Large buildings should be articulated with offsetting and planting to give the impression of smaller blocks.
- c. A landscaped buffer shall be established around all off street parking areas to act as a buffer strip to adjacent uses.

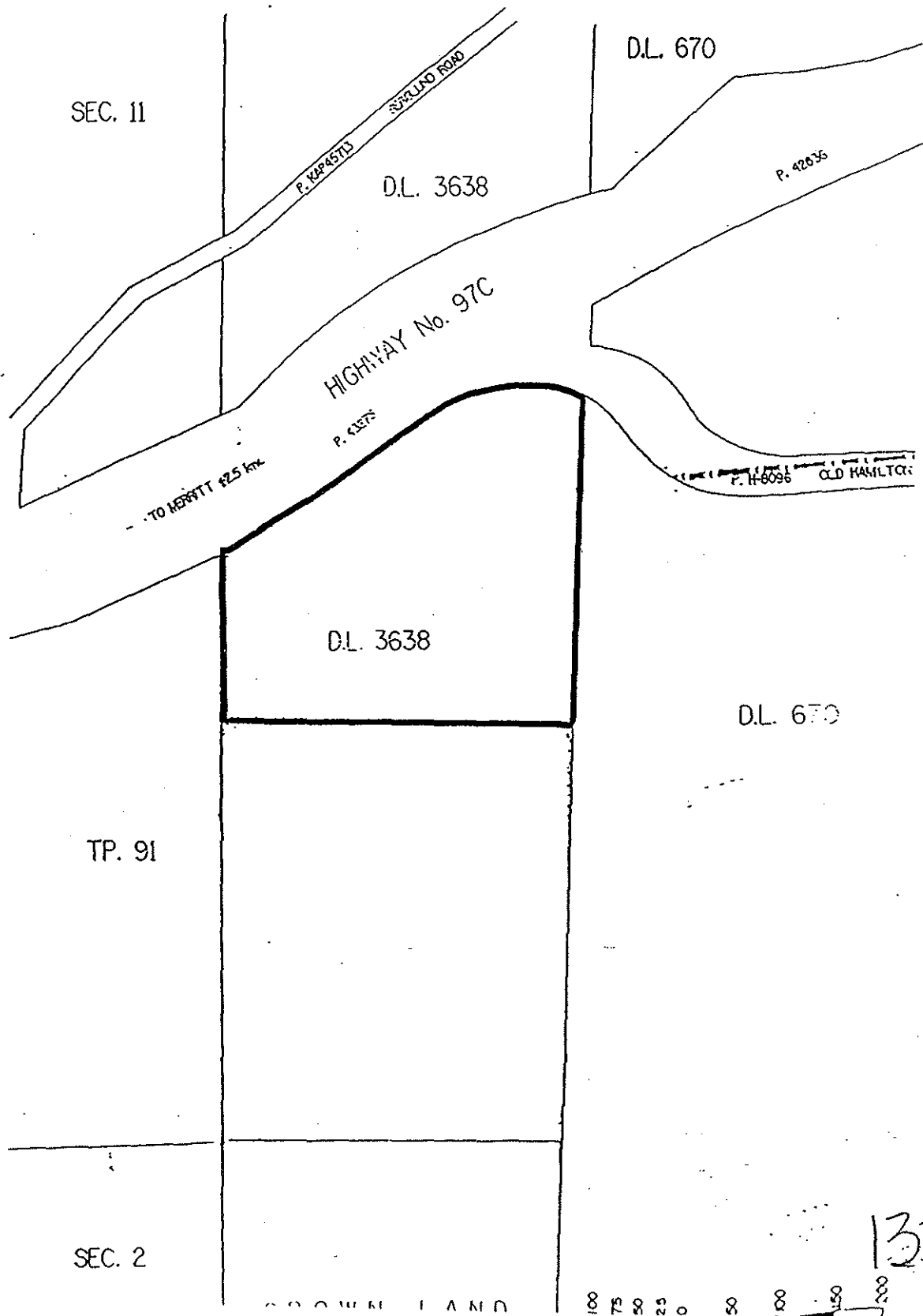
.7 Fencing

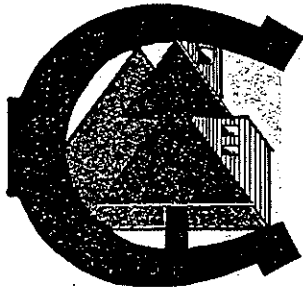
Fencing to protect the Agricultural Land Reserve will be required. All property lines abutting to the Agricultural Land Reserve shall be fenced in accordance with the fencing guidelines of the Agricultural Land Commission Act.

CITY OF MERRITT

BYLAW NO. 1537

SCHEDULE "B"





MERRITT AND DISTRICT
**HAMBER OF
OMMERCE**

BOX 1649 - MERRITT, B.C. - V0K 2B0 - PHONE 378-5634

B BUSINESS
I INFO
C CENTRE

January 16, 1996

City of Merritt
Box 189
Merritt, B.C.
V0K 2B0

Agenda

CITY OF MERRITT

JAN 17 1996

RECEIVED

Honorable Clara Norgaard, Mayor

RE: BUDGETS AND STAFF

Thank you for your thoughtful response to our letter and requests of December 20, 1995.

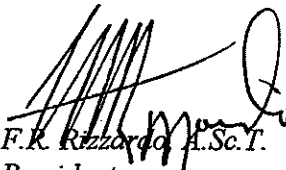
We will utilize the response provided to respond to concerned members and other business owners in the city.

We are of course supportive of several of your staffing decisions such as the building inspector and are pleased with your decision to contract the one-time inspection service for the fire inspection process.

We are also in agreement with your decision on the new civic center if in fact only 20% of the capital cost needs to be financed. Our initial understanding was that 100% would be required and then this would allow a private contractor to assist in the plan. I can only assume that your review would have also concluded that the private developer would have been able to take advantage of certain tax rules.

Thank you again for your timely response.

Yours truly,


F.R. Rizzardo, A.Sc.T.
President

/rlm

cc: all Directors



CITY OF MERRITT

JAN 12 1996

RECEIVED

January 9, 1996

City of Merritt
P.O. Box 189
Merritt, B.C.
V0K 2B0

Agenda

ATTENTION: Mayor and Council

Dear Sir/Madame:

I would like to thank you for the opportunity of delivering the RRAP program for the City of Merritt for the past four years. B.C. Native Housing is closing their office in Clinton at the end of January 1996 and consequently I have been laid-off as of the end of December 1995. I would like to continue to deliver the Residential Rehabilitation Assistance Program (RRAP) on my own. Canada Mortgage and Housing Corporation has given me the go ahead to do my own delivery. You may contact Marilyn Miller, Program Officer at CMHC, 868-4034, if you have any concerns.

I have enjoyed my 18 years experience in this field of work and know your needs will be looked after. I ask for your support in my new venture. I was told that B.C. Native Housing is planning on servicing your area from their Prince George office. What I require is a Sub-Agency Agreement signed by yourself and the council to have me deliver the program and send the same to Canada Mortgage and Housing Corp. in Kelowna. Their address is: CMHC
Suite 104 - 565 Bernard Avenue
Kelowna, B.C.
V1Y 8R4

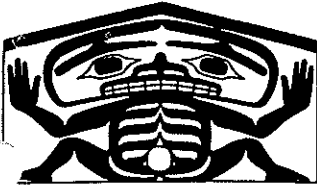
If you have any concerns or questions regarding the above I will be available April 1, 1996. You may reach me at the following number.

Sincerely,



Jack Minosky
Inspector
J. & J. Enterprises
P.O. Box 366
Lac La Hache, B.C.
V0K 1T0
Phone: 396-4339

JM/mb



BRITISH COLUMBIA NATIVE HOUSING CORPORATION

January 11, 1996

City of Merritt
P.O. Box 189
Merritt, B.C.
V0K 2B0

Agenda

CITY OF MERRITT
JAN 15 1996
RECEIVED

Attention: Mayor & Council

Dear Sirs/Madam:

RE: 1995/96 RESIDENTIAL REHABILITATION ASSISTANCE PROGRAM

This letter is to apprise you of changes to the organizational structure of B.C. Native Housing Corporation for the provision of inspection services under the above referenced program to your community.

Due to high operational costs and continuing federal government cutbacks we will be closing our Clinton office effective January 26, 1996. Our inspection and administrative services for the above referenced program will be transferred to our Prince George office under the direction of our Office Administrator, Lena Louie with inspection services being provided by Theresa Koster. Our organization is committed to providing continued inspection services and delivery of the Residential Rehabilitation Assistance Program to your community members. Delivery of these services and program will continue to be provided to your community with the same degree of performance and quality as we have provided in the past and we look forward to a shared and mutually satisfying working relationship with the Council and community members.

If you have any questions with regard to the above, please do not hesitate to contact the undersigned. Thank you for your continued alliance and commitment with B.C. Native Housing Corporation.

Yours truly,

Susan M. Christink

Susan M. Christink
Provincial Administrator
B.C. Native Housing Corporation

pc: Lena Louie, Office Administrator, BCNHC Prince George
Theresa Koster, Inspector, BCNHC Prince George

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BRIAN DAFOE MOTORCADE LTD.

P.O. Box 1540 - Merritt, B.C. - V0K 2B0 - 2049 Nicola Ave. - Telephone (604) 378-9255

1996 01 04

Agenda

City of Merritt
P.O. Box 189
Merritt, B.C.
V0K 2B0

CITY OF MERRITT

JAN 05 1996

RECEIVED

Attention: City Council

Dear Council Members:

**Re: Request for Sidewalk Upgrading,
2049 Nicola Avenue, Merritt**

As you are aware, the construction/renovation of the GM dealership is well underway and scheduled to be completed in early Spring.

I feel that now is an opportune time to suggest that the present sidewalk conditions be upgraded and improved along the corners of Nicola and Voght Streets, particularly as this is in a high profile area.

The existing sidewalks have, over the years, been in need of repair and since we are completing major renovations to both our building and land, I feel this may be a timely opportunity for the City to address this concern.

I look forward to your reply in this regard at your earliest convenience.

Yours truly,

**Brian Dafoe,
President**

BD/sd



Federation of Canadian Municipalities
Fédération canadienne des municipalités

Agenda

*Clara
INRD Calgary*

December 11, 1995

MEMORANDUM TO MUNICIPAL CLERKS/TREASURERS

1996 FCM ANNUAL CONFERENCE

Enclosed for your information are copies of a promotional flyer announcing FCM's 59th Annual Conference to be held in Calgary, Alberta, May 31 - June 3, 1996. The 1996 theme, "The Challenge of Public Expectations" will highlight the relationship between councils and ratepayers. A complete information package including registration forms and a preliminary program will be mailed in late January.

If you have any questions or comments regarding this announcement, please contact the FCM Secretariat.

Shirley A. Carmanico
Conference Manager

Enclosures

CITY OF MERRITT
DEC 12 1995
RECEIVED



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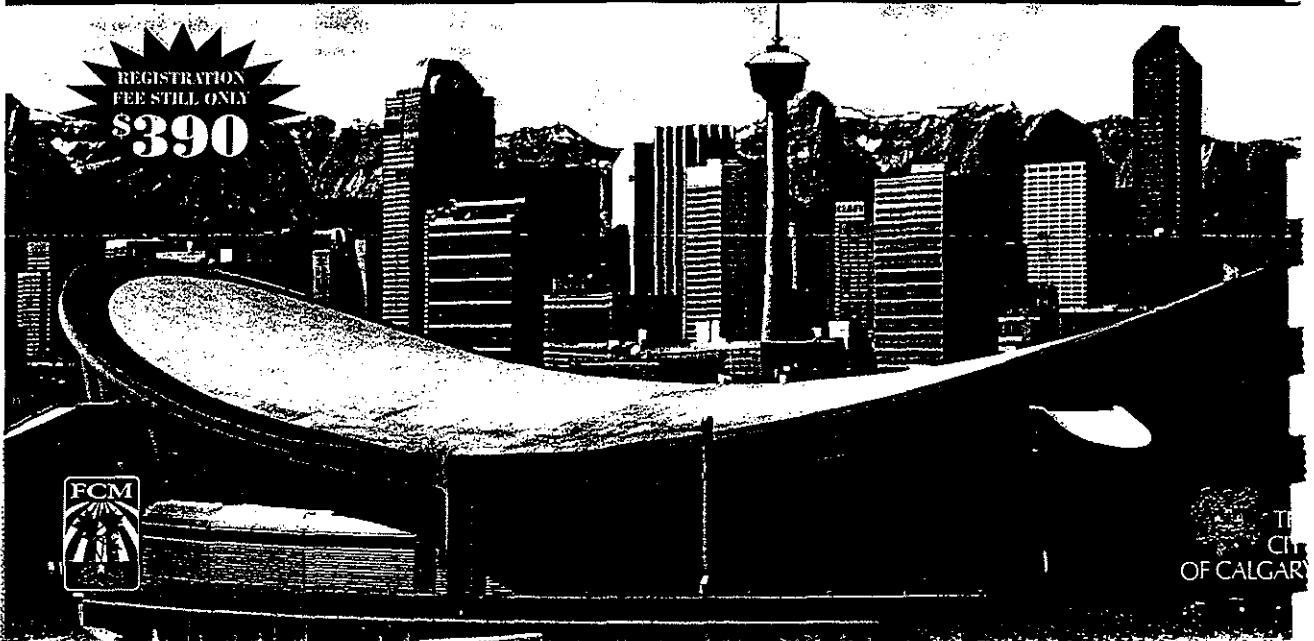
- Mayor John Les
Chilliwack, British Columbia
President
Président
- Councillor Bryon Wilfert
Richmond Hill, Ontario
First Vice-President
Premier vice-président
- Maire suppléant Claude Cantin
Québec (Québec)
Deuxième vice-président
Second Vice-President
- Councillor Jae Eadie
Winnipeg, Manitoba
Third Vice-President
Troisième vice-président
- Mayor D. Laurence Mawhinney
Lunenburg, Nova Scotia
Past President
Président sortant
- James W. Knight
Executive Director
Directeur général

The Challenge of Public Expectations

Federation of Canadian Municipalities, 59th Annual Conference
Calgary Convention Centre, Calgary, Alberta, May 31 - June 3, 1996

REGISTRATION
FEE STILL ONLY

\$390



“The Challenge of Public Expectations”

is the theme for the 1996 FCM Annual Conference. FCM Conferences in the past two years have focused on cost cutting, cost recovery and revenue generation. In 1996, we will highlight the relationship between councils and ratepayers.

Elected officials in all three orders of government have witnessed a public backlash in recent elections. For example, the electorate has unceremoniously defeated majority governments and incumbent municipal councils, at times after only one term of office. It has become increasingly difficult to gauge the public mood. The unexpected has become the norm.

On the other hand, the Canadian people are knowledgeable and sophisticated consumers of government services. Citizens are willing to participate beyond the occasional visit to a polling booth. The popularity of community-based activities and participatory processes are examples of this trend towards greater public participation.

7. Municipal Crime Prevention - From Promise to Action
8. Strategies for Gaining Public Acceptance of User Pay Principles
9. Just Say NO!
10. Strengthening Ties between Aboriginal and Non-aboriginal Local Governments

“Come for the Conference... Stay for the Hospitality”

Don't miss the opportunity to visit Calgary for the FCM 59th Annual Conference. This spirited city is world-famous for its warmth and hospitality and delights visitors with its distinct brand of western heritage.

Located in the foothills of the magnificent Rocky Mountains, Calgary is a prime destination for experiencing the sophistication of a dynamic urban cent and the thrill of a backcountry adventure. Outstanding attractions which include the Calgary Zoo, Heritage Park, the Glenbow Museum, and Olympic

venues such as the Speedskating Oval and Canada Olympic Park offer an exciting range of activities for visitors to enjoy. Calgary is also home to a world-class symphony orchestra and boasts a full slate of theatre companies, nightclubs and fine



Don't miss the pre-conference seminar on community safety and crime prevention in association with the National Crime Prevention Council. Thursday, May 30, 1996.

Stated quite simply, how do local elected officials meet the needs and expectations of an increasingly demanding, sophisticated, knowledgeable but sometimes fickle and cynical public?

The Conference Program

FCM is working on an exciting and informative slate of Conference sessions to stimulate and inform.

The Prime Minister and appropriate members of the Federal Cabinet will be invited to share the Government's position on municipal issues at the mid-point of their mandate.

Ralph Klein, Premier of the Province of Alberta has also been approached to address the delegates on his populist political vision and what it means to municipalities and the public.

FCM is in the process of confirming other keynote speakers and the Conference Observer, who will attend the entire Conference and offer observations on Conference deliberations.

Delegates will have the opportunity to shape FCM policy for the coming year during Policy Day. The program will offer a host of seminars, clinics, policy forums and study tours to ensure delegates get a wide range of choice in both content and format. In particular, there will be three blocks of time dedicated to seminars allowing for ten seminar topics. FCM has taken to heart the request from many of last year's delegates, who indicated on the evaluation form that there should be more discussion time in seminars. There will be no more than two speakers per seminar to allow ample time for discussion among the most important resource - your municipal colleagues from across Canada.

Seminar topics will include:

1. Creating Consensus around Public Policy Issues
2. Public Consultation Processes: A Primer
3. Election Promises to Post-election Implementation
4. Public Needs vs. Public Wants
5. New Canadians and Local Government Services
6. Public Perceptions and the Role of the Media



restaurants to tempt your palate.

The spectacular resorts of Banff, Lake Louise and Alberta's own Kananaskis Country are about an hour from Calgary and offer visitors a broad scope of activities. Golfing, hiking, rafting, horseback riding, mountain biking or simply relaxing in a luxurious world-class hotel all await you.

Study Tours

Delegates are sure to enjoy the wide range of sessions addressing issues that are relevant and timely. To complement Conference sessions, a variety of study tours will bring municipal issues to life by presenting unique City of Calgary facilities and projects. Learn how Calgary is leading the way in areas such as transportation, recycling and wastewater treatment.



Partners Program

While you are attending Conference sessions, your partner is invited to participate in the Partners Program. Sightseeing tours as well as outdoor activities such as hiking will be included. The program will also feature day trips to allow participants to experience the majesty of the Canadian Rockies.



Social Events

After attending sessions all day, relax and enjoy the social events that will make this a Conference to remember! The Opening Dessert Reception on Friday evening, a sumptuous banquet on Sunday evening and a western theme day and Closing BBQ on Monday evening are all part of the fun.

The "Cowboy Way" on Western Day

Be sure to bring your jeans, boots and cowboy hat to wear during "Western Day" on Monday. Try living the "cowboy way" for a day as you experience the western spirit that makes Calgary famous. End the Conference with a bang at the BBQ on Monday night at Heritage Park, a turn-of-the-century Alberta village that is one of Calgary's outstanding attractions.



Yahoo! See y'all in Calgary!

Alberta Economic Development and Tourism

Mike Ridewood

Mike Ridewood

Mike Ridewood

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Province of
British Columbia

Ministry of Forests
Bag 4400
Hwy 5A and Airport Road
Merritt, BC V0K 2B0

File: 14020-30 T.O.M.

December 21, 1995

Mayor Norgaard and Council
P.O. Box 189
City of Merritt
V0K 2B0

Dear Mayor and Council


This is a letter to keep the city informed on some key issues and also to thank the City of Merritt for the continued support in dealing with wildfires.

The Merritt Fire Department has been proactive in dealing with wildfires in 1995. We have had the opportunity to work with the Fire Services Personnel on two occasions during the past fire season. We are looking forward to doing more cross training in the Spring of 1996 with the Fire Services Crews.

The Forest Service will assist in any of the burning programs that the city would like to complete in 1996. If there are any plans to burn any areas within the city and you would like the Forest Service involved with than we would appreciate as early notification as possible so that we can include these into our plans.

A standard fire agreement is currently being worked on in the Kamloops Fire Center. I expect only minor changes to the agreement that we have worked on during the past. I will keep you and council advised of any proposed changes and be able to sign the agreement before March 31, 1996.

Thank you for your consideration into these matters. If you have any questions please call me at the Merritt Forest District Office. (378-8400)


Harry Spahan
Forest Protection Officer
Merritt Fire Zone

Agenda - Rev

CITY OF MERRITT

JAN 04 1996

RECEIVED



January 5, 1996

Her Worship Clara R. Norgaard
Mayor
City of Merritt
2185 Voght St
PO Box 189
Merritt British Columbia
V0K 2B0

CITY OF MERRITT
JAN 11 1996
RECEIVED

Agenda - Revl

Dear Mayor Norgaard:

Thank you for your letter and for your support of my government's opposition to the rules-based extension of the Agreement on Internal Trade to the MASSH sector (municipalities, academic institutions, schools, social services and health entities).

This issue was discussed at the Annual Premiers' Conference in St. John's, Newfoundland, in August, and more recently at the November meeting of Internal Trade Ministers. At the Annual Premiers' Conference, I conveyed the views of the province's MASSH sector and reiterated British Columbia's support for a principles-based agreement to the other Premiers.

I will refer your correspondence to the Honourable Glen Clark, Minister of Employment and Investment, as he is the lead Minister on this issue and he will be most interested in your views.

Again, thank you for your support.

Sincerely,

Mike Harcourt

Mike Harcourt
Premier

pc: Honourable Glen Clark

INTERIOR LUMBER MANUFACTURERS' ASSOCIATION

#360 - 1855 KIRSCHNER ROAD, KELOWNA, B.C. V1Y 4N7
TELEPHONE (604) 860-9663 FAX: (604) 860-0009



January 10, 1995

Mayor Clara Norgaard
City of Merritt
Box 189
Merritt, B.C.
V0K 2B0

*Agenda - Review
Response in Reader file*

CITY OF MERRITT

JAN 18 1996

RECEIVED

Dear Mayor Norgaard:

Re: **A FOREST INDUSTRY PERSPECTIVE ON ASPECTS OF THE
B.C. TREATY MAKING PROCESS**

As the treaty-making process has important implications for all British Columbians, and as a great many communities depend on crown forests for their livelihood and recreational needs, I felt you may be interested in the attached response from the B.C. Forest Industry¹ to three recent public discussion papers.

Key recommendations made include the following:

- *Additional opportunities are necessary for B.C. citizens to learn about treaty and pre-treaty issues and to be involved in their resolution. To that end it is important that the Treaty Negotiation Advisory Committee and individual Regional Advisory Committees (RACS) receive sufficient support from government, including provision for observer roles for RAC members during treaty and pre-treaty negotiations. Additionally, RAC members and others should be provided with socio-economic analysis of potential settlement packages prior to the tabling of serious proposals.*
- *The transfer of any amount of Crown land warrants full, province wide public review.*
- *If transfers of Crown land, jurisdiction or public assets result in "Treaty Settlement lands", then, on remaining Crown lands outside those "Treaty Settlement Lands", aboriginal people should have the same rights as all other Canadians.*

¹ Paper developed through the Council of Forest Industries whose members are the Interior Lumber Manufacturers Assn., Northern Forest Products Assn., Cariboo Lumber Manufacturers Assn., Coast Forest and Lumber Assn., B.C. Pulp and Paper Assn., Canadian Plywood Assn.

- *Rather than continue with a plethora of "interim measures" activities which have resulted in inconsistently applied policy, it needs to be recognized that much of the need for new interim agreements has already been addressed in B.C. in the form of new legislation and policies. Changes to the Forest Act and Heritage Conservation Act, combined with adoption of various protection of aboriginal rights policies, greatly reduces the requirement for additional interim measures.*

Should you have questions about any of the points contained in this material, please feel free to contact us.

Yours truly,

A handwritten signature in cursive script, appearing to read "John", with a horizontal line underneath it.

John Marritt
President

- *Rather than continue with a plethora of "interim measures" activities which have resulted in inconsistently applied policy, it needs to be recognized that much of the need for new interim agreements has already been addressed in B.C. in the form of new legislation and policies. Changes to the Forest Act and Heritage Conservation Act, combined with adoption of various protection of aboriginal rights policies, greatly reduces the requirement for additional interim measures.*

Should you have questions about any of the points contained in this material, please feel free to contact us.

Yours truly,



John Marritt
President

EXTRA AGENDA, TUES., JAN.23/96 REGULAR MEETING.

1. NEW BUSINESS:

- a) District of Logan Lake, Jan.17/96 - Invitation to Polar Carnival
- b) City of New Westminster, Jan.19/96 - Bill 26, Amendments to the Waste Management Act.
- c) Ad Hoc Lights Committee
 - 1. Merritt Legal Services, Jan.17/96
 - 2. Deborah Day, Dec.5/95

Extra Agenda / Rick

January 19, 1996

TO ALL MUNICIPALITIES AND REGIONAL DISTRICTS IN B.C.

RE: **BILL 26 AMENDMENTS TO THE WASTE MANAGEMENT ACT**

As you know, Bill 26, the proposed Provincial soil contamination legislation, together with its regulations has serious implications for local governments throughout British Columbia.

Draft 3 of the Regulation consists of approximately 125 pages of complex and often highly technical tables and text. Although distributed in early December, many municipalities and organizations did not actually receive the documentation until shortly before Christmas. The Ministry of Environment, Lands & Parks have set a Contaminated Sites Regulation. The Ministry intends to have the regulation submitted to Cabinet for approval so that the legislation and regulation can come into force by the Spring of 1996.

Stakeholders need more time to analyze and develop constructive comments on this latest Draft. Although significant improvements have been made since the earlier Drafts, Municipalities must continue to have serious concerns about various aspects of the Act and the Regulation, especially with respect to liability issues and the apparent supercedence of eco-risk standards over health risk standards. These eco-risk standards, based on a preliminary review only, appear to be extremely conservative and unreasonable.

The City of New Westminster has requested that the Ministry extend the January 22 deadline for comments to February 28, 1996. A copy of our letter to the Honourable Moe Sihota dated January 19, 1996 is attached.

The implications for municipalities are potentially very serious if Cabinet adopts the Bill and Regulation in current form. Consequently, we are requesting that your municipality or regional district fax the Minister of Environment at (604)387-1356 in addition to Premier Harcourt (604) 387-0087 as close to January 22 as possible, expressing your concern and requesting more time to respond. We would appreciate a copy of any correspondence.

Sincerely,

Betty Toporowski

E.R. TOPOROWSKI
MAYOR

MAYOR'S OFFICE
CITY OF NEW WESTMINSTER
511 ROYAL AVENUE
TELEPHONE: (604) 527-4522
NEW WESTMINSTER, B.C.
FAX: (604) 527-4594
V3L 1 H9



BY FAX: 387-1356

1996 January 19

The Honourable Moe Sihota
Minister of Environment, Lands and Parks
4th Floor, 777 Broughton Street
VICTORIA, B.C.
V8V 1X5

Dear Mr. Minister:

RE: DRAFT 3 OF THE CONTAMINATED SITES REGULATION

By letter dated December 28, 1995, the City of New Westminster requested extension of the January 22, 1996 deadline for comments on Draft 3 of the Contaminated Sites Regulation to February 28.

The purpose of this letter is to briefly explain our reasons for requesting an extension.

Draft 3 of the Regulation consists of approximately 125 pages of complex and often highly technical tables and text. Although distributed in early December, many municipalities and organizations did not actually receive the documentation until shortly before Christmas. Stakeholders need more time to analyze and develop constructive comments on this latest Draft. Although significant improvements have been made since the earlier Drafts, Municipalities continue to have serious concerns about various aspects of the Regulation, especially with respect to the apparent supercedence of eco-risk standards over health risk standards. These eco-risk standards, based on a preliminary review only, appear to be extremely conservative and unreasonable.

We are also very concerned about your intention to finalize the regulation as soon as possible in order to have the regulation submitted to Cabinet for approval so that the legislation and regulation can come into force by the Spring of 1996. Local government remains very anxious that certain changes be made, especially to the Municipal Liability provisions of the legislation.

TO: Honourable Moe Sihota
RE: Draft 3 of Contaminated Sites Regulation

...2/
1996 January 19
Page 02

City Council appreciates your immediate consideration of this request and looks forward to providing more detailed comments in due course.

Sincerely,

E.R. TOPOROWSKI
MAYOR

cc: Hon. Mike Harcourt, Premier of the Province of BC
Hon. Darlene Marzari, Minister of Municipal Affairs
Hon. Ujjal Dosanjh, Attorney General
Anita Hagen, M.L.A.



DISTRICT OF LOGAN LAKE

P.O. BOX 190, LOGAN LAKE, B.C. V0K 1W0
TELEPHONE (604) 523-6225 FAX (604) 523-6678

Extra Agenda

City of Merritt
Box 189
Merritt, BC
V2C 5K6

CITY OF MERRITT

JAN 22 1996

RECEIVED

January 17, 1996

Attention: Mayor and Council

Dear Mayor and Council:

You are cordially invited to attend the opening ceremony of our annual Polar Carnival on Friday, February 9th at 6:00 p.m. at the Recreation Centre.

We look forward to hearing from you.

Yours truly,

Peter Donald

**Peter Donald, Chair
LL Parks and Recreation Commission**

PD/lc

MERRITT LEGAL SERVICES

Bag 4400, 1964 Quilchena Avenue
Merritt, BC, Canada V0K 2B0

Phone: (604)378-6112
Fax: (604)378-4550

Agenda

January 17, 1996

CITY OF MERRITT

JAN 19 1996

RECEIVED

"Hand Delivered"

City of Merritt
Box 189
Merritt, B.C.
V0K 2B0

Attn.: Dalyce Mackey, Recreation Manager

Re.: Ad Hoc Lights Committee

Further to our discussion yesterday, the Ad Hoc Lights Committee met a number of times during 1995. Early in our discussions, we decided that, as a group, we would only make public our discussions to the extent that we were able to reach consensus on issues.

Although we had a number of fruitful discussions about the issue of lights in particular and recreational facilities and management generally, we were unable to reach consensus except in very general terms.

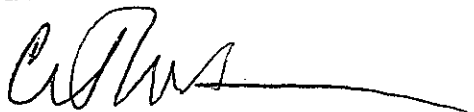
Accordingly, I am unable to provide you with a report on the work we did. I'm afraid that the issue of lights will have to be resolved by council. However, I believe that council would be greatly assisted in its deliberations by soliciting input from the individual constituent groups of our committee, namely the Merritt Ball Association, Parker Drive Residents group and the Civic Properties and Recreation Commission.

Thank you for asking me to participate on this committee. Although we did not achieve the goals we set for ourselves, the discussions we had were thoughtful and respectful. I enjoyed working with the group.

Good luck to council in dealing with the "lights" issue.

Yours very truly,

MERRITT LEGAL SERVICES



CLIFF THORSTENSON
Staff Lawyer

Deborah Day
R.R.#1 546 C26
Merritt B.C.
VOK 2B0

Dec. 5, 1995

Mayor and Council
City of Merritt
Box 189
Merritt B.C.
VOK 2B0

Dear Mayor and Council,

When council is to consider the report from the Ad Hoc Committee regarding the lighting proposal at Central Park, there are a number of Parker Drive residents who would like to appear as a delegation.

Please advise me at your earliest convenience of the date and I will arrange for each resident that would like to speak to submit a request to appear as a delegation.

Thanking you in advance,

Deborah Day.

CITY OF MERRITT
DEC - 6 1995
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